

DEVELOPMENT APPLICATION

SGCH NUWARRA
87-91 NUWARRA ROAD MOOREBANK 2170
AUSTRALIA

ST GEORGE COMMUNITY HOUSING

SMITH & TZANNES

AD	ALUMINIUM DOOR
AS	ALUMINIUM SCREEN
AW	ALUMINIUM WINDOW
BP	FEATURE PATTERN BRICK INFILL
CONC	CONCRETE
D	DISHWASHER
EX	EXISTING
F	FRIDGE
FB#	FACE BRICK TYPE #
FG	FIXED GLAZING
GBAL	GLASS BALUSTRADE
GL	GLASS LOURVES
HWU	HOT WATER UNIT
OG	OVERHEAD DOOR
P	PANTRY
PMB	PERFORATED METAL BALUSTRADE
RL	RELATIVE LEVEL
TG	TRANSLUCENT GLAZING
WM	WASHING MACHINE



0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25



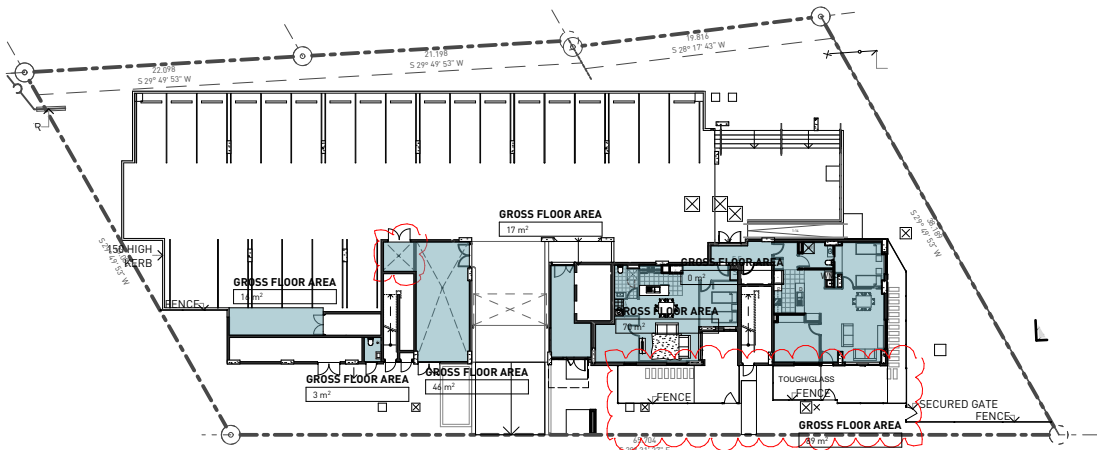
17_060 DA-A-206

APARTMENT SCHEDULE

LEVEL	UNIT NUMBER	BEDS	INTERNAL AREA
LEVEL 0	G.01	2 BED	70
	G.02	2 BED	83
LEVEL 1	1.01	2 BED	70
	1.02	2 BED	70
	1.03	2 BED	73
	1.04	1 BED	53
	1.05	1 BED	53
	1.06	1 BED	59
	1.07	2 BED	77
	1.08	2 BED	71
	1.09	2 BED	70
LEVEL 2	2.01	2 BED	71
	2.02	2 BED	70
	2.03	2 BED	73
	2.04	1 BED	53
	2.05	1 BED	53
	2.06	1 BED	59
	2.07	2 BED	77
	2.08	2 BED	71
	2.09	2 BED	70
LEVEL 3	3.01	2 BED	71
	3.02	2 BED	70
	3.03	2 BED	73
	3.04	1 BED	53
	3.05	1 BED	53
	3.06	1 BED	59
	3.07	2 BED	77
	3.08	2 BED	71
	3.09	2 BED	70
LEVEL 4	4.01	2 BED	71
	4.02	2 BED	70
	4.03	2 BED	70
	4.04	2 BED	70
	4.05	2 BED	81
	4.06	2 BED	70
	4.07	2 BED	87
LEVEL 5	5.01	2 BED	71
	5.02	2 BED	70
	5.03	2 BED	70
	5.04	2 BED	70
	5.05	2 BED	81
	5.06	2 BED	70
TOTAL		42 UNITS	

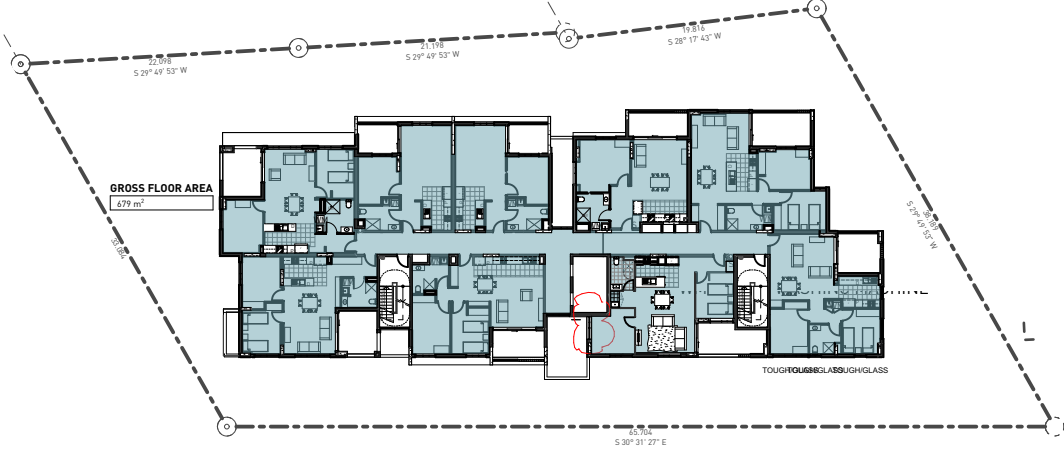
DWELLING MIX:

1 BED UNITS = 9 (21%)
2 BED UNITS = 33 (79%)



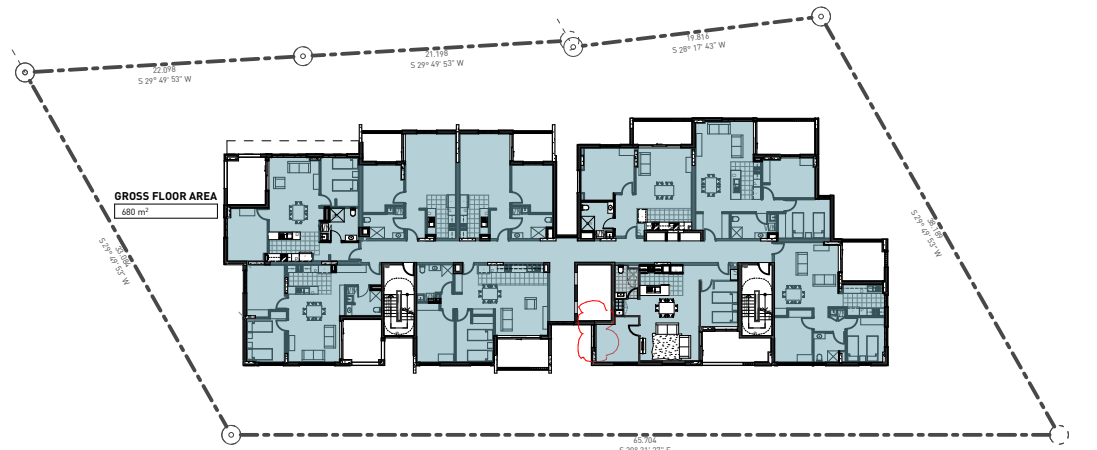
LEVEL 0 GFA

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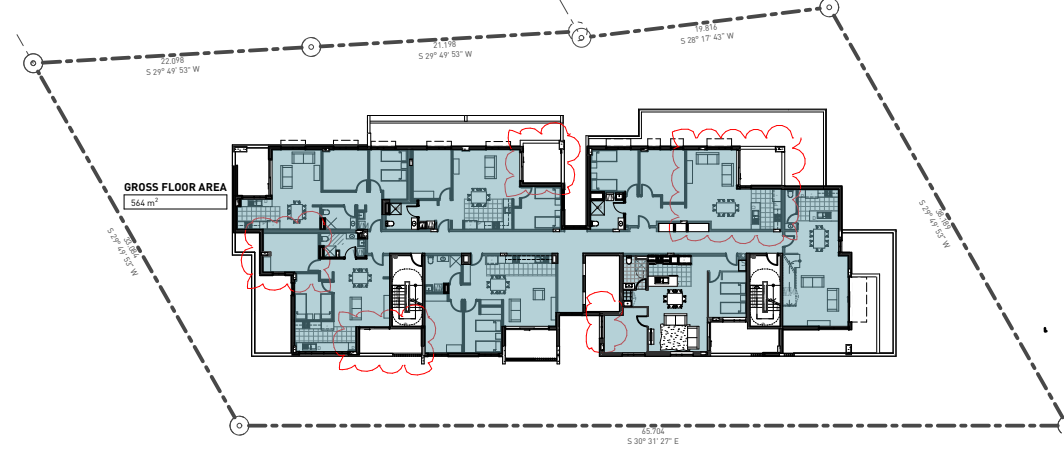
LEVEL 1 GFA

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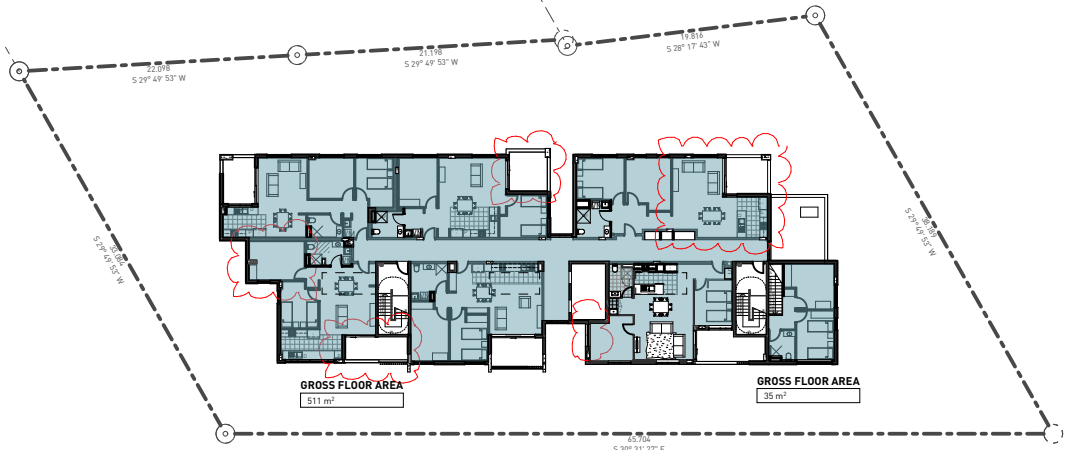
LEVEL 2 & 3 GFA

1:600



LEVEL 4 GFA

1:600



LEVEL 5 GFA

1:600

AREA SCHEDULES

TYPE	LEVEL	NAME	AREA
GROSS FLOOR AREA			
	LEVEL 0	GFA	241
	LEVEL 1	GFA	679
	LEVEL 2	GFA	680
	LEVEL 3	GFA	680
	LEVEL 4	GFA	564
	LEVEL 5	GFA	546

3,390 m²

SITE AREA:

2013m²
FSR: 3390/2013= 1.68
Permissible FSR: 1.2+0.5 = 1.7:1
Permissible GFA 3422m²



FOR DA

REV D 16/10/2018

GFA CALCULATIONS

DEVELOPMENT APPLICATION

SGCH NUWARRA

ST GEORGE COMMUNITY HOUSING

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy Street Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)

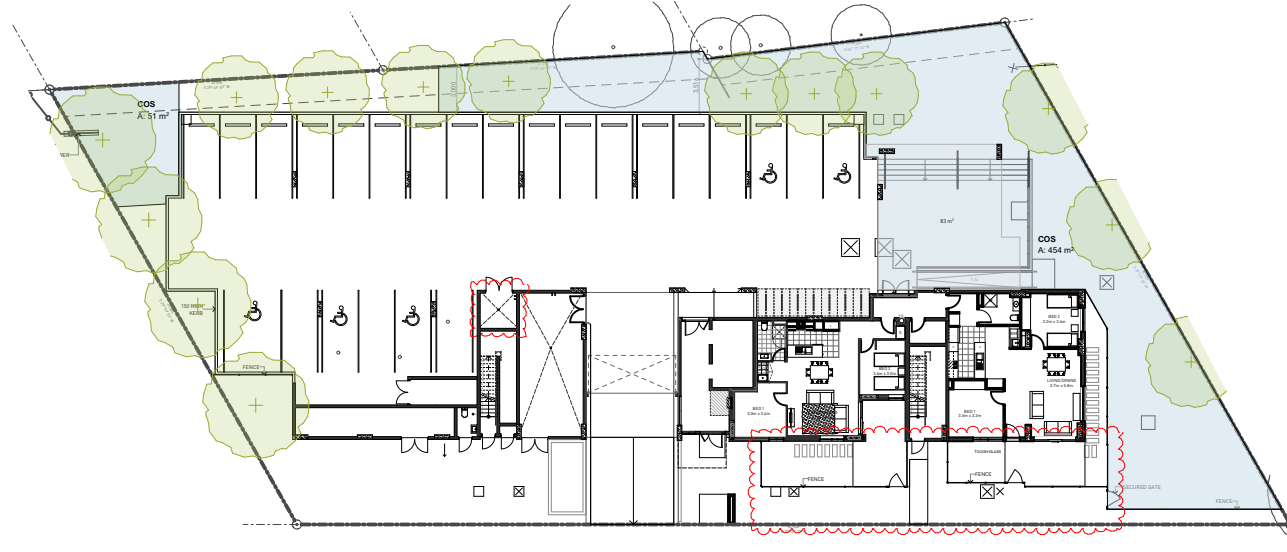


COMMUNAL OPEN SPACE CALCULATION

TYPE	LEVEL	NAME	AREA
COMMUNAL OPEN SPACE			
	LEVEL 0	COS	505
			505 m²
COMPLIES			

(ADG REQUIREMENT 25% OF SITE = 503M²)

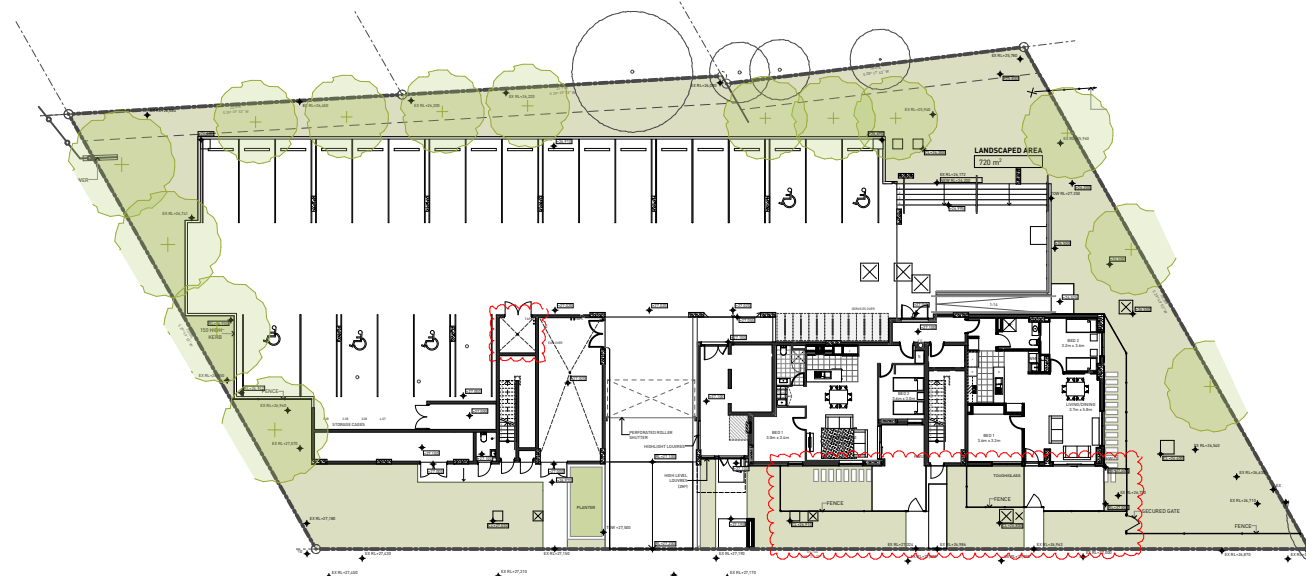
83M² WILL BE COVERED



LANDSCAPE CALCULATION

TYPE	LEVEL	NAME	AREA
LANDSCAPED AREA			
	LEVEL 0	LANDSCAPE	720
			720 m²
			COMPLIES

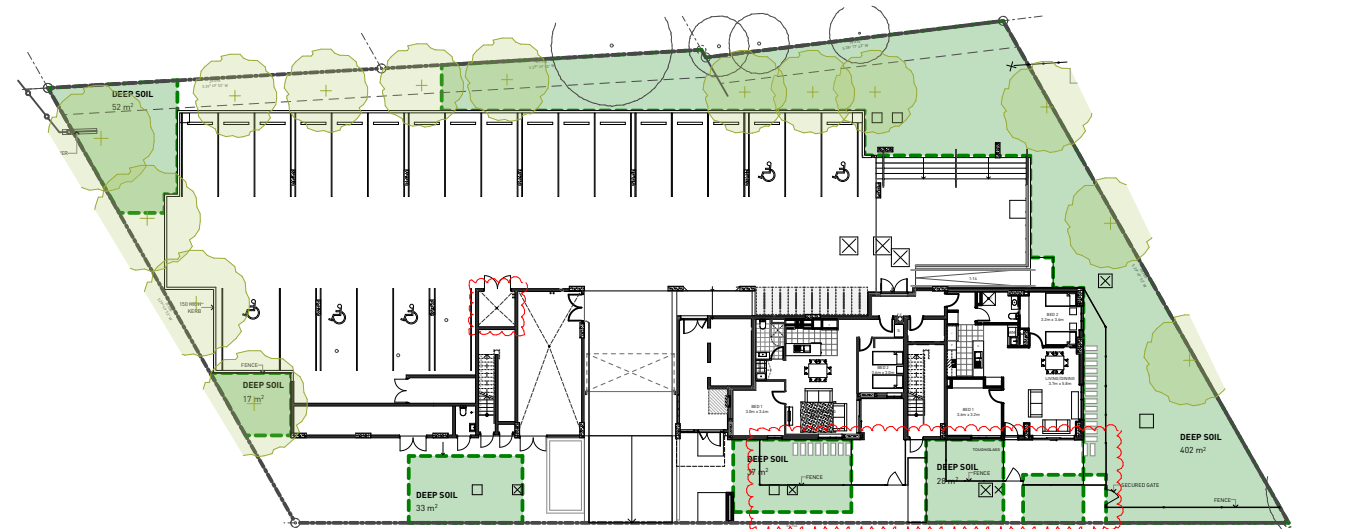
(ARH LANDSCAPE REQUIREMENT 30% OF SITE = 603M²)



LANDSCAPE - DEEP SOIL

TYPE	LEVEL	NAME	AREA
DEEP SOIL			
	LEVEL 0	DEEP SOIL	569
			569 m²
			COMPLIES

(ARH LANDSCAPE REQUIREMENT 15% OF SITE = 302M²
- 3M MIN. DIMENSION AS PER ARH)



FOR DA

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LANDSCAPE CALCULATIONS

DEVELOPMENT APPLICATION

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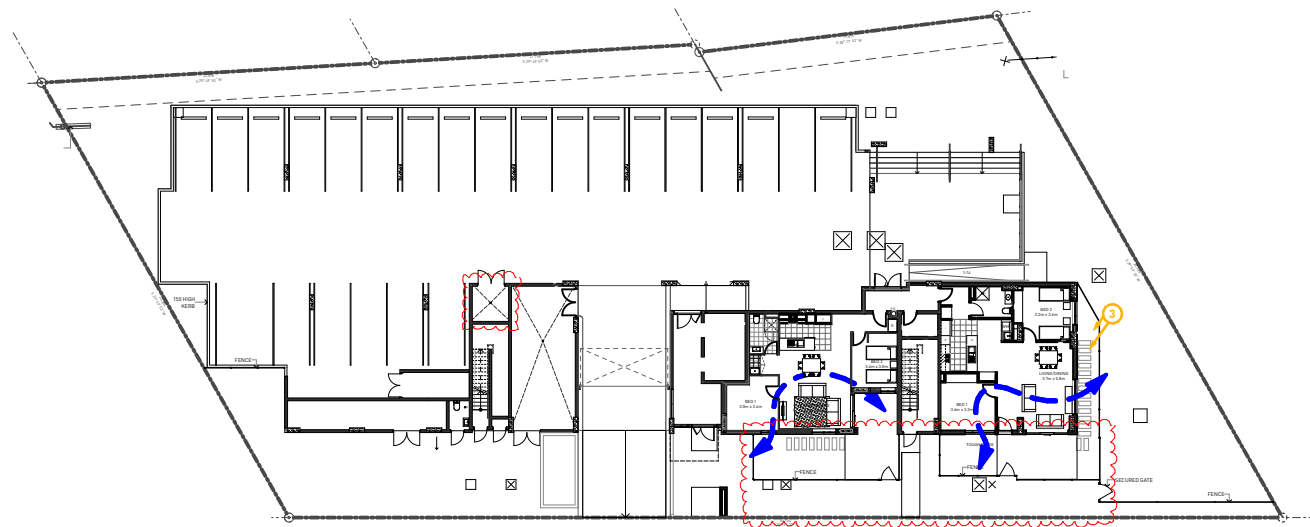
ARCHITECTURE URBAN PLANNING
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P 02 9516 2022 **E** email@smithtannes.com.au
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Nominated Architect: Peter Smith (Reg 7024)



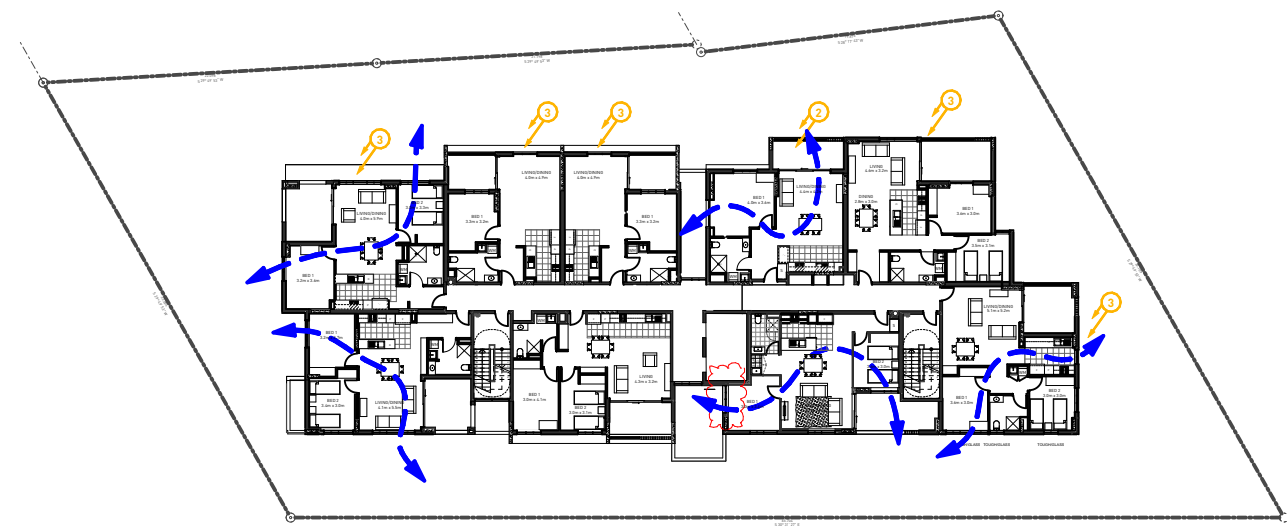
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					2.5m - 1:50
					1.25m - 1:25

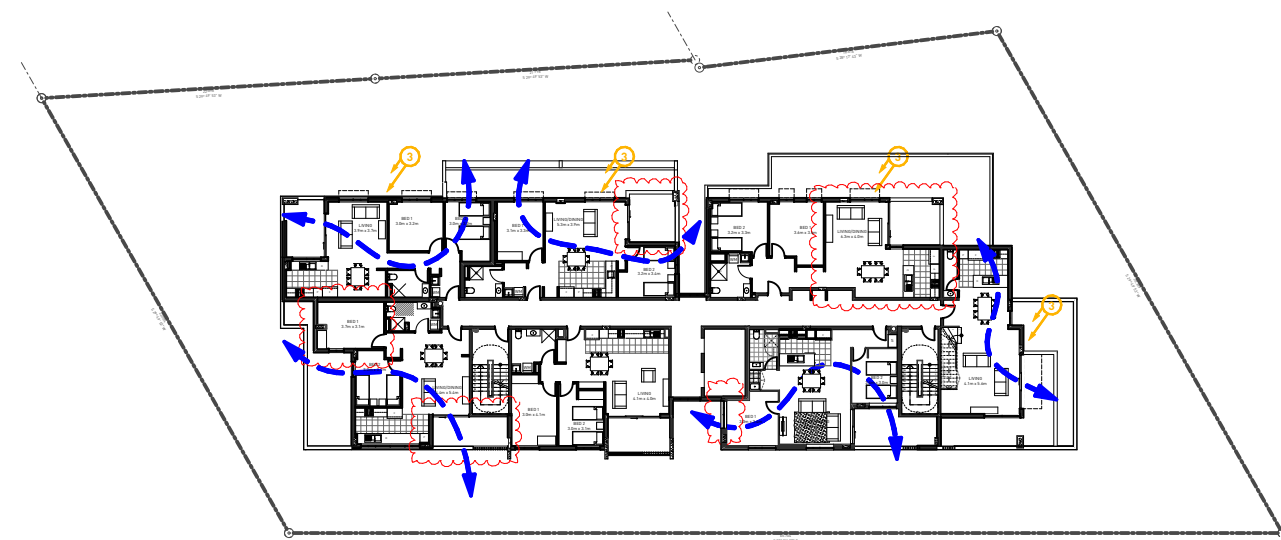
17_060 DA-A-801



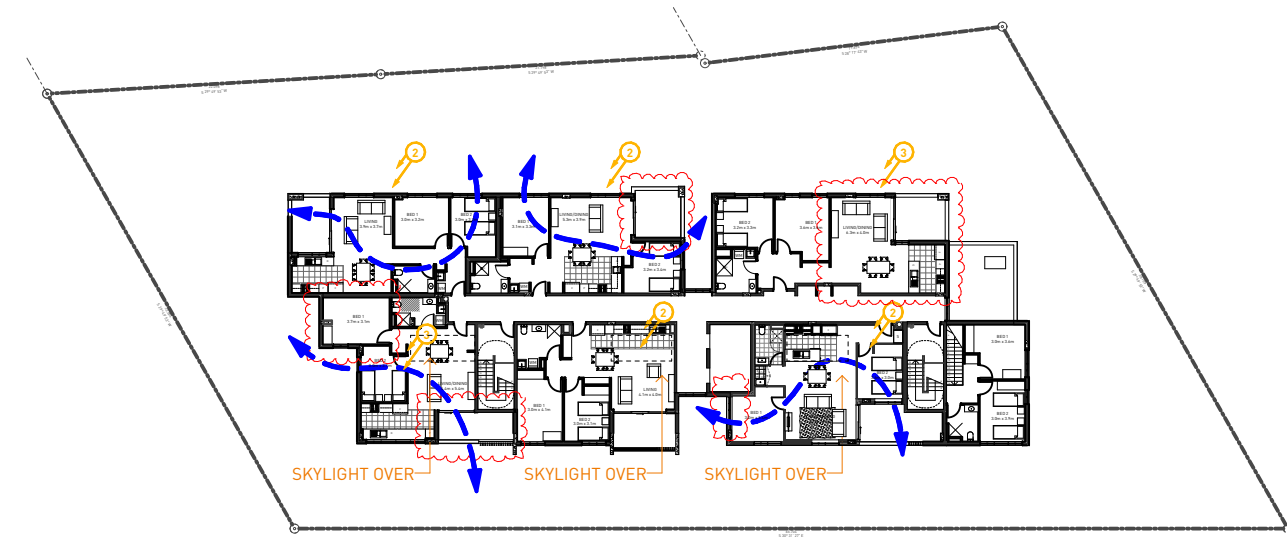
LEVEL 0 CROSS VENT/SOLAR ACCESS
1:500



LEVEL 1,2 & 3 CROSS VENT/SOLAR
ACCESS
1:500



LEVEL 4 CROSS VENT/SOLAR ACCESS
1:500



LEVEL 5 CROSS VENT/SOLAR ACCESS
1:500

CROSS VENTILATION

26 UNITS CROSS VENTILATED (62%)
[ADG MINIMUM REQUIREMENT 60%]

SOLAR ACCESS

29 UNITS RECEIVE MINIMUM 2 HRS DIRECT SUNLIGHT
OF WHICH 22 UNITS RECIEVE A MINIMUM 3 HRS DIRECT
SUNLIGHT TO LIVING AREAS MID WINTER 9am-3pm [29
UNITS = 69%]

[ADG 2 HRS MINIMUM REQUIREMENT 70%,
AFFORDABLE HOUSING STANDARD 3 HRS]

6 UNITS RECEIVE NO DIRECT SUNLIGHT DURING MID
WINTER 9am-3pm [14%]
[ADG MAX. 15%]



FOR DA

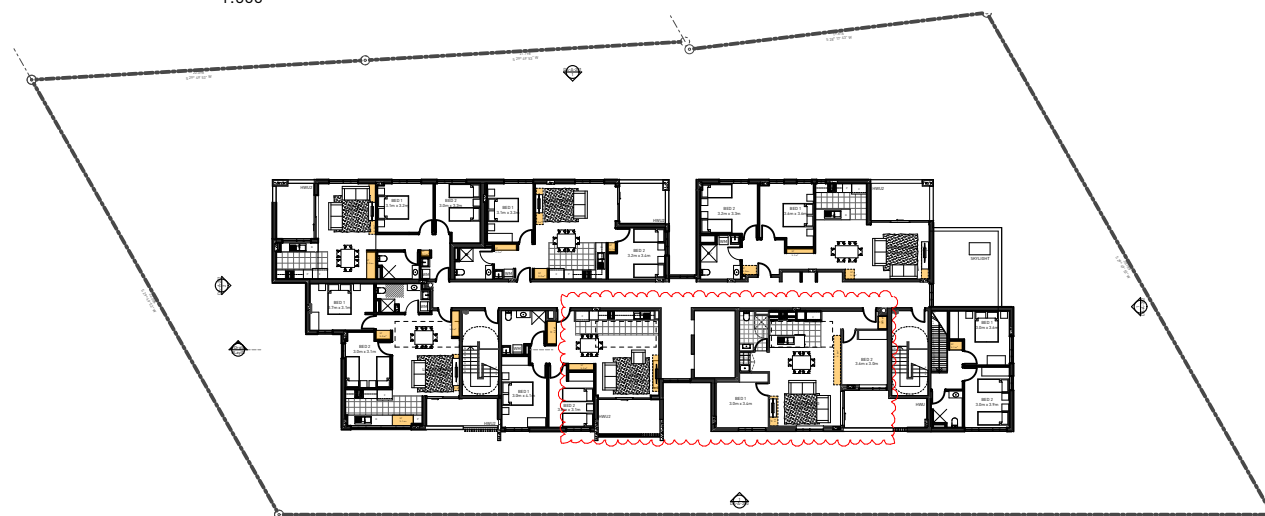
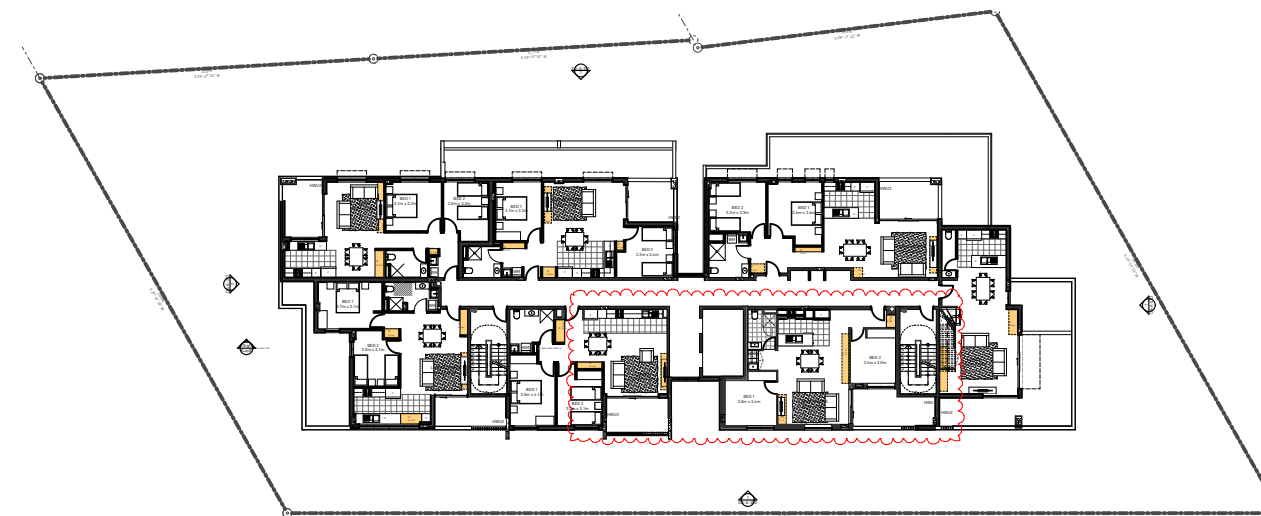
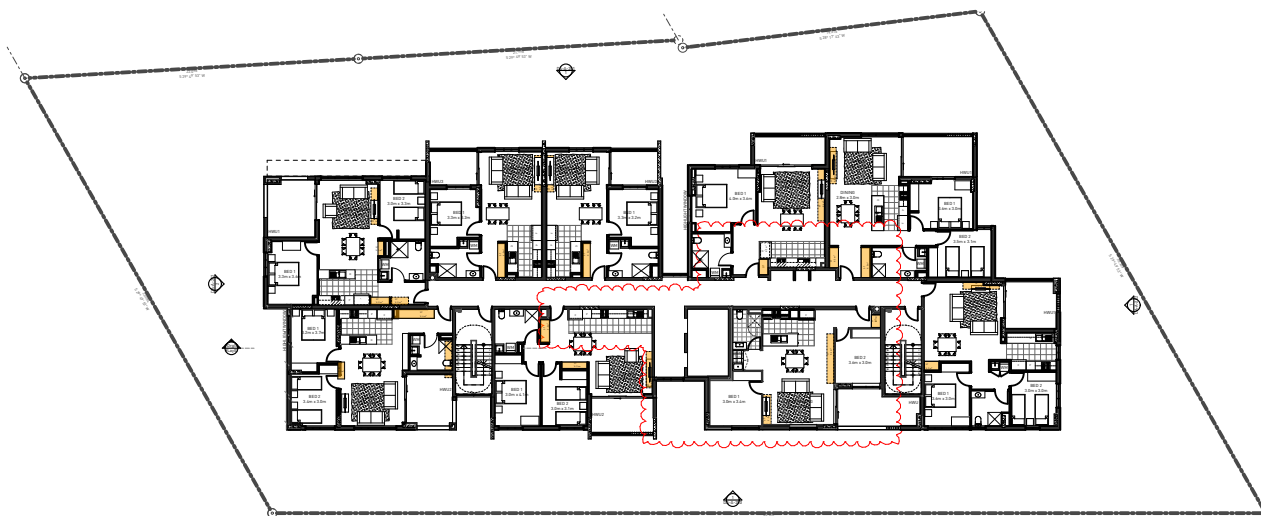
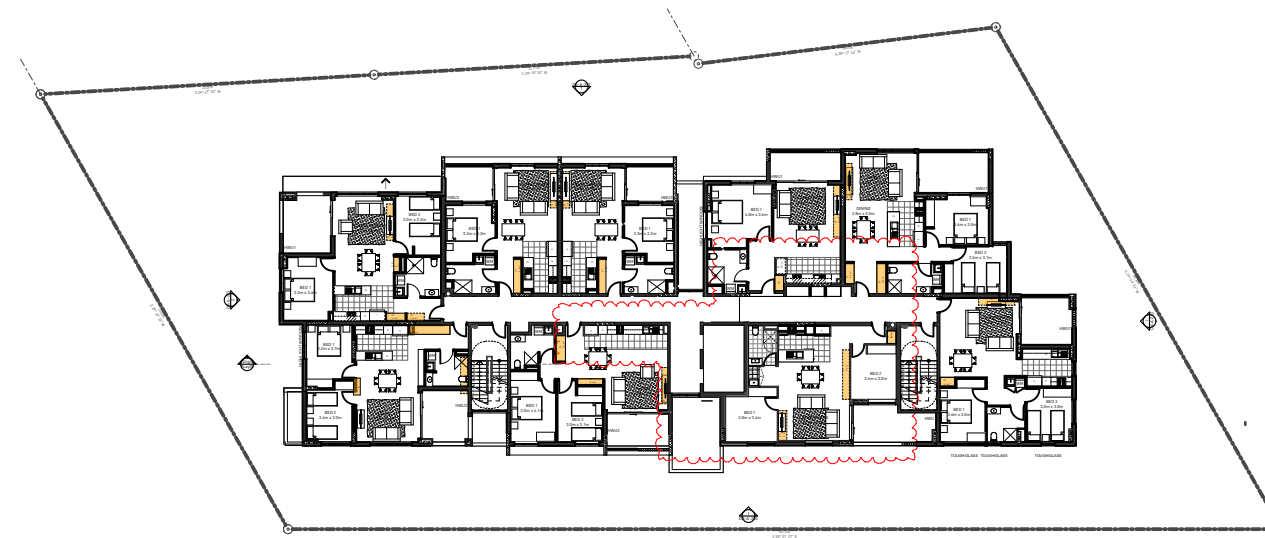
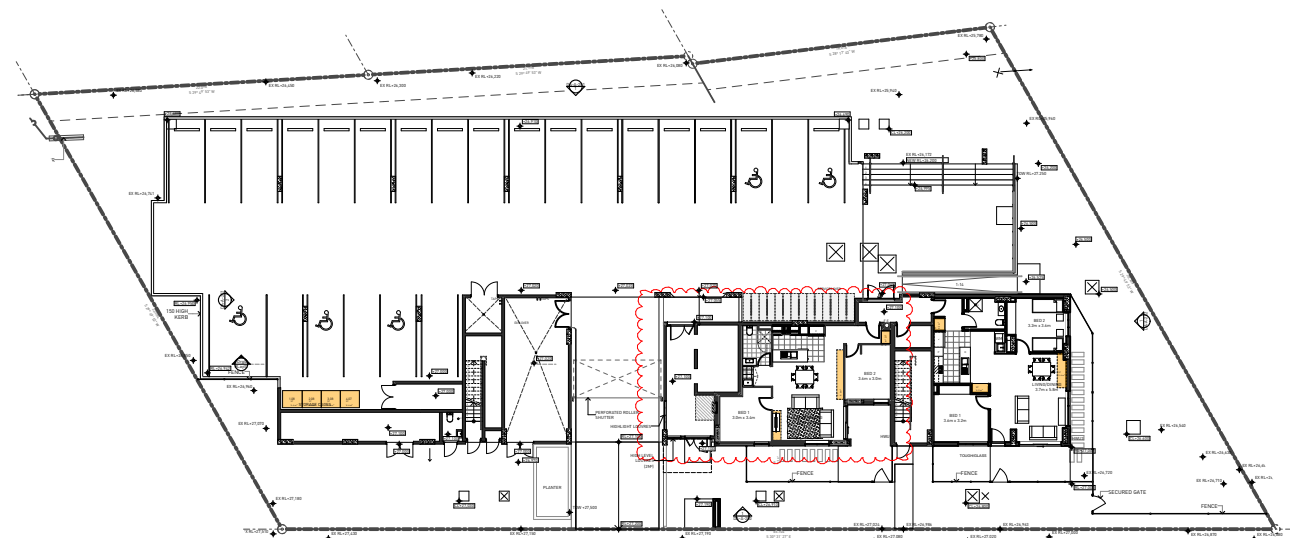
REV D 16/10/2018

CROSS VENT & SOLAR ACCESS

DEVELOPMENT APPLICATION

SGCH NUWARRA

ST GEORGE COMMUNITY HOUSING



FOR DA

REV B 02/08/2018

STORAGE CALCULATIONS (1)

DEVELOPMENT APPLICATION

SGCH NUWARRA

ST GEORGE COMMUNITY HOUSING

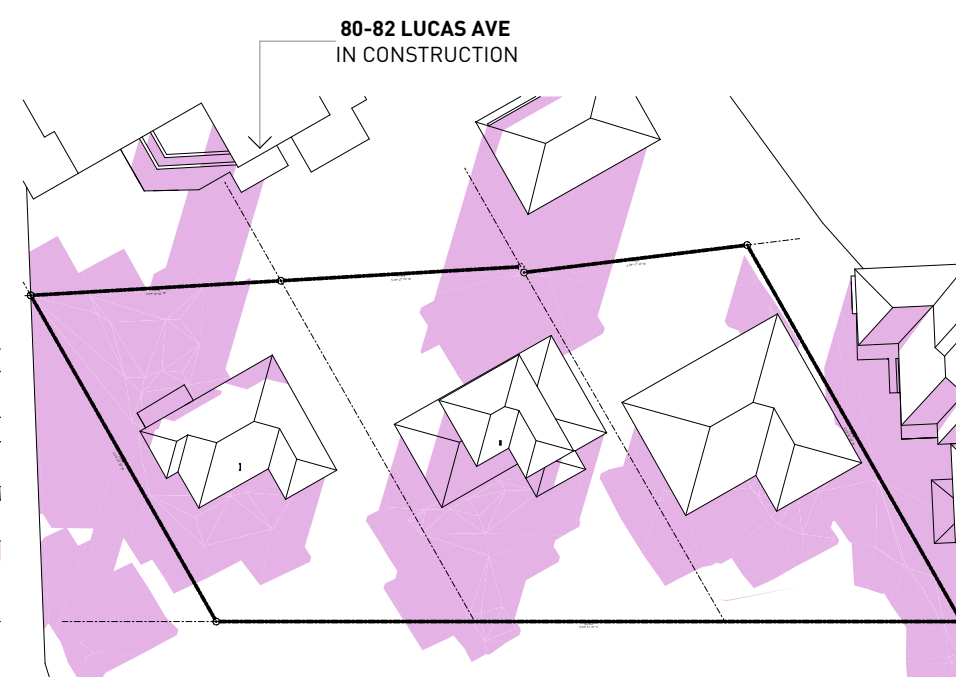
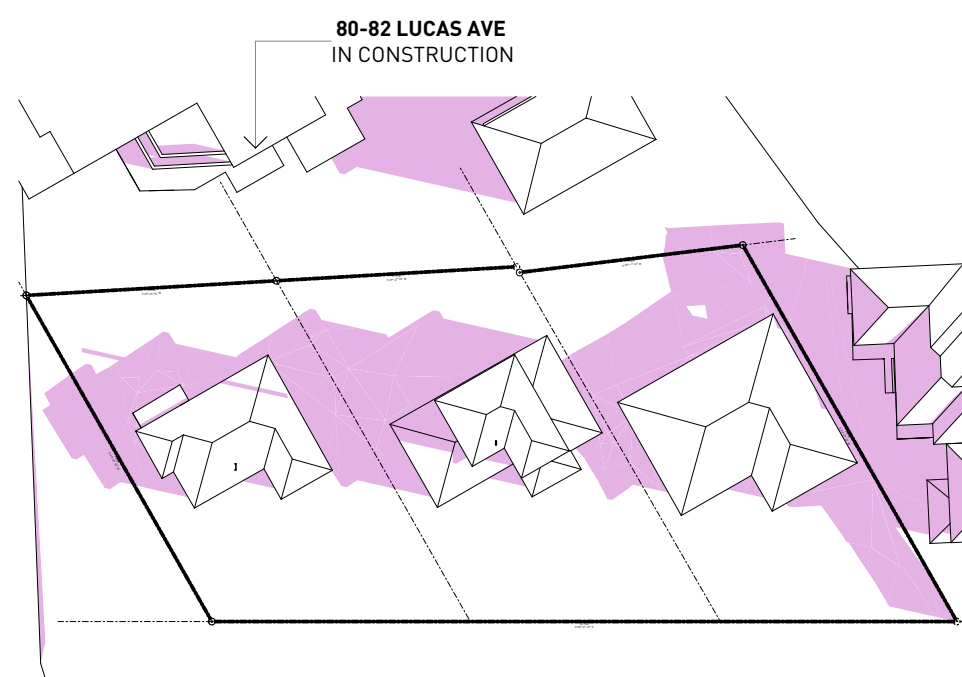
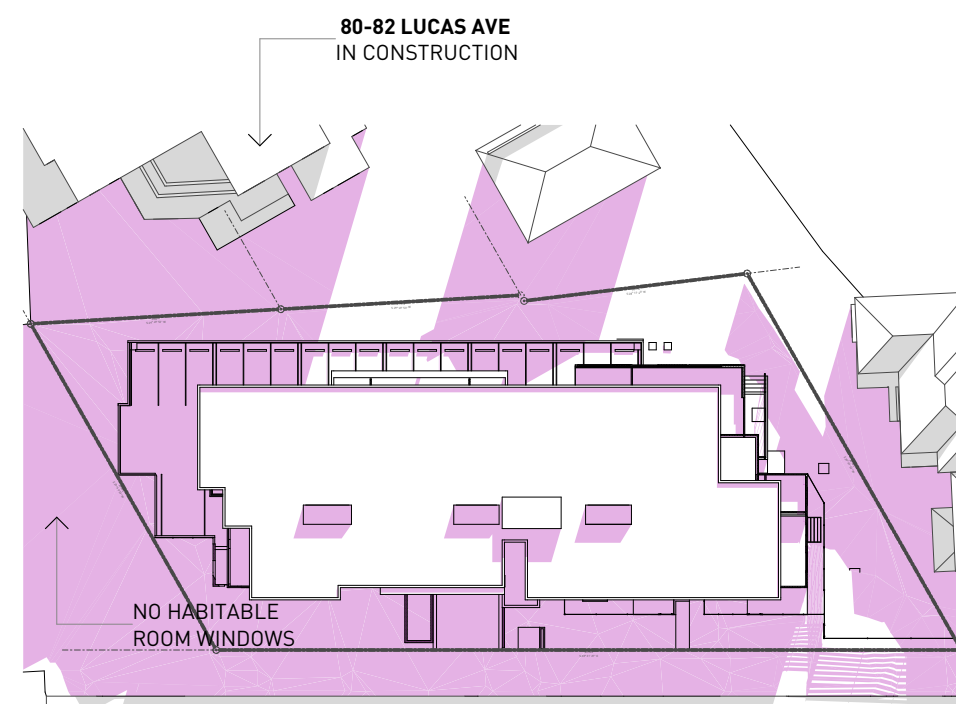
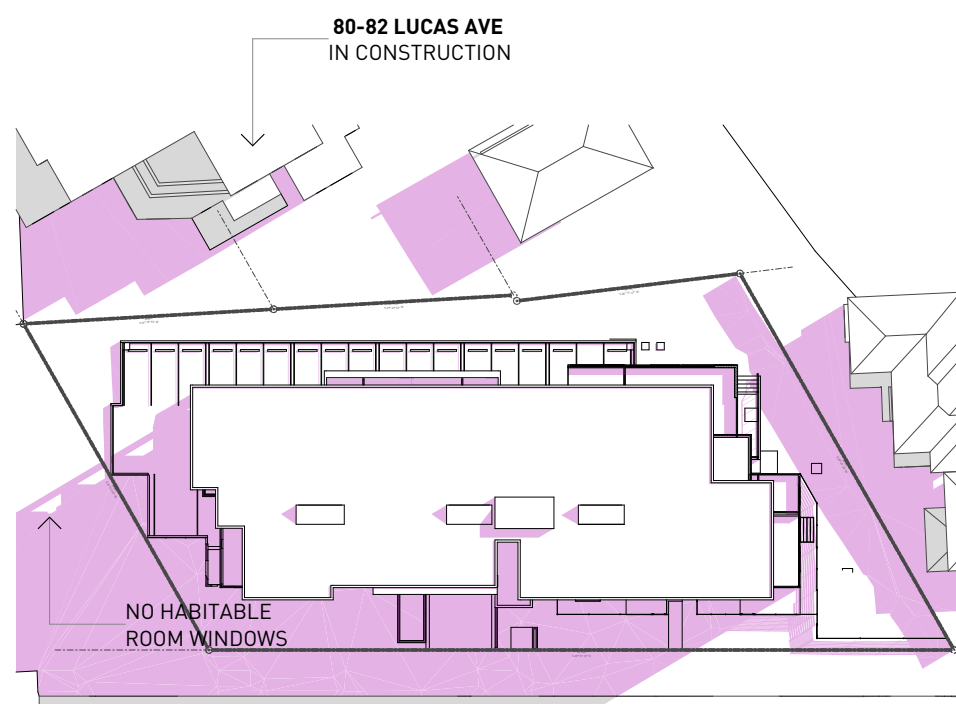
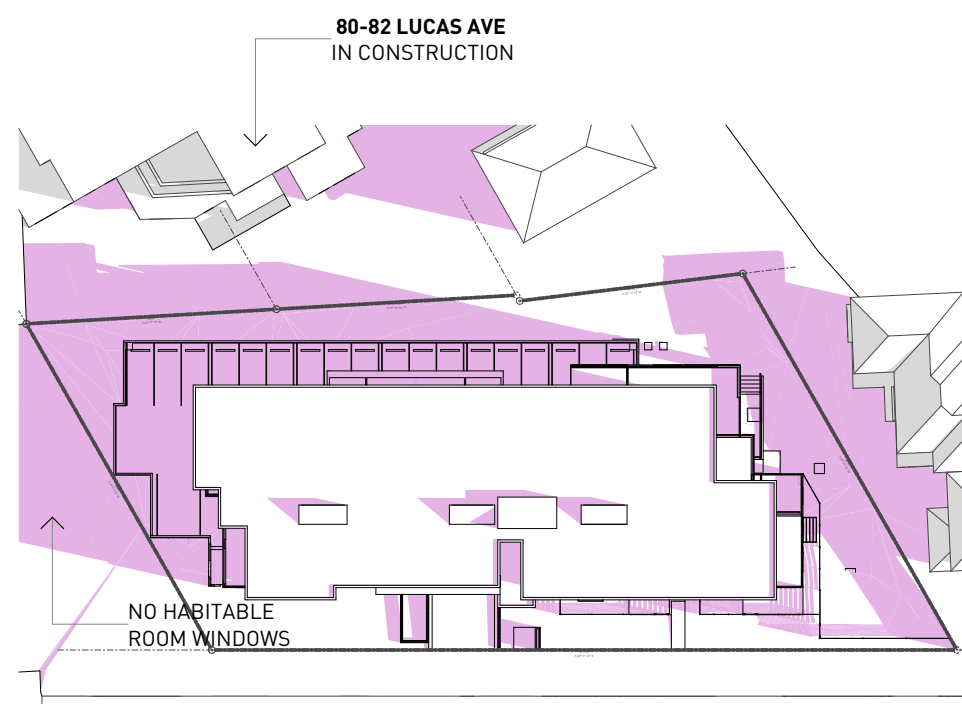
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					2.5m - 1:50
					1.25m - 1:25

ARCHITECTURE URBAN PLANNING
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Nominated Architect: Peter Smith (Reg 7024)



17_060 DA-A-803



FOR DA

REV A 22/05/2018

SHADOWS - WINTER SOLSTICE

DEVELOPMENT APPLICATION

SGCH NUWARRA

ST GEORGE COMMUNITY HOUSING



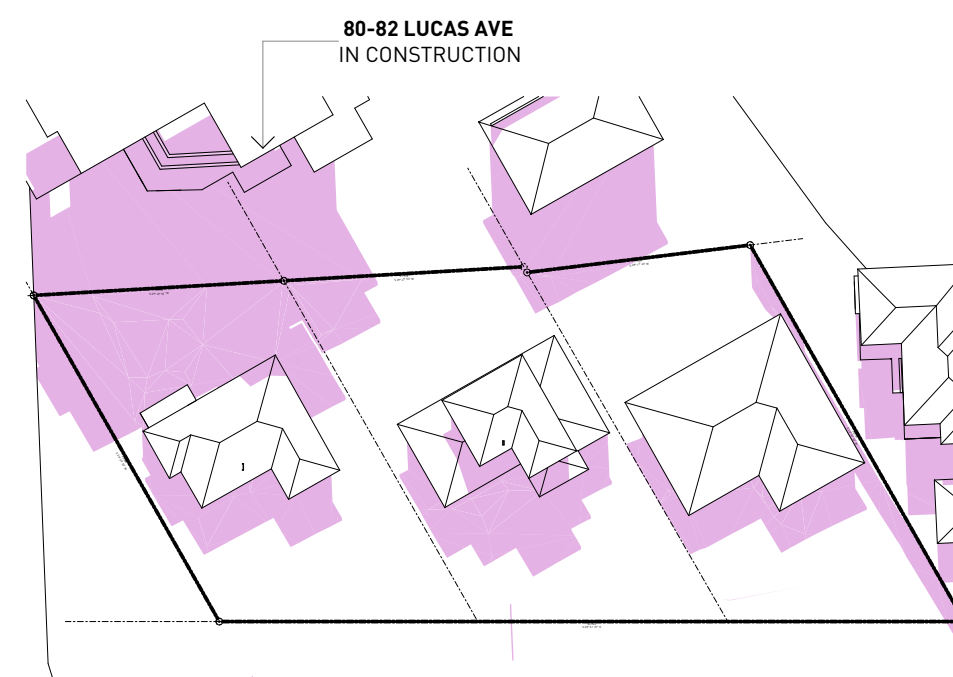
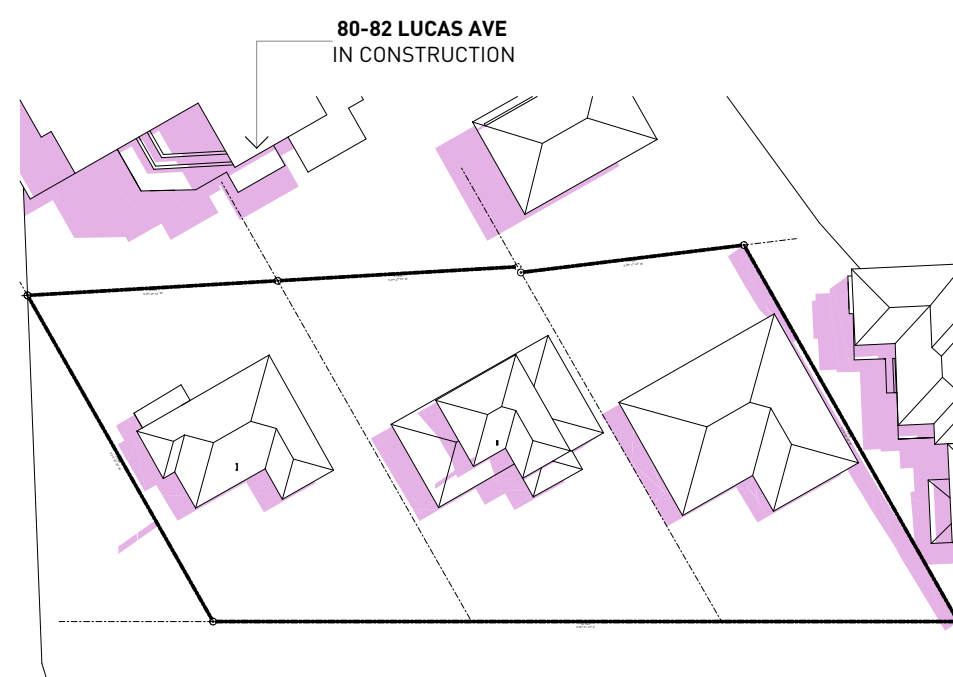
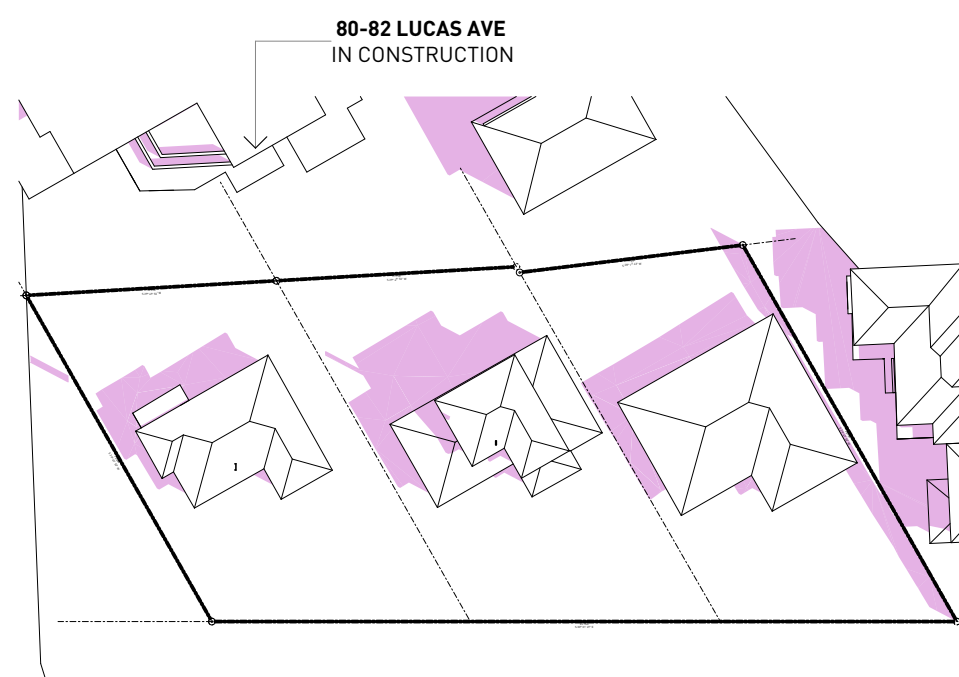
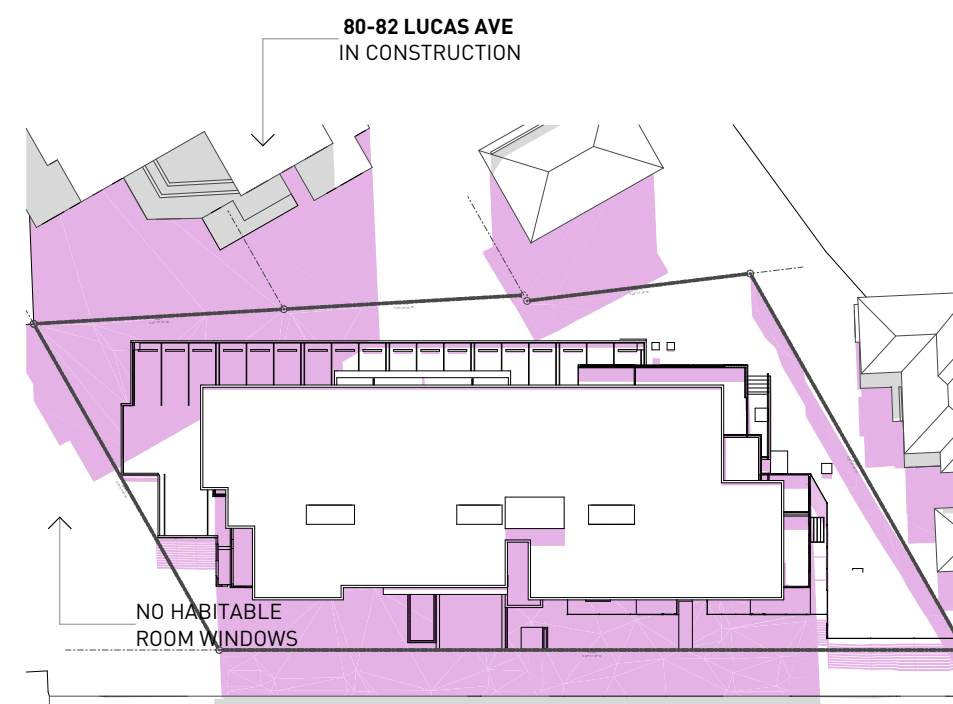
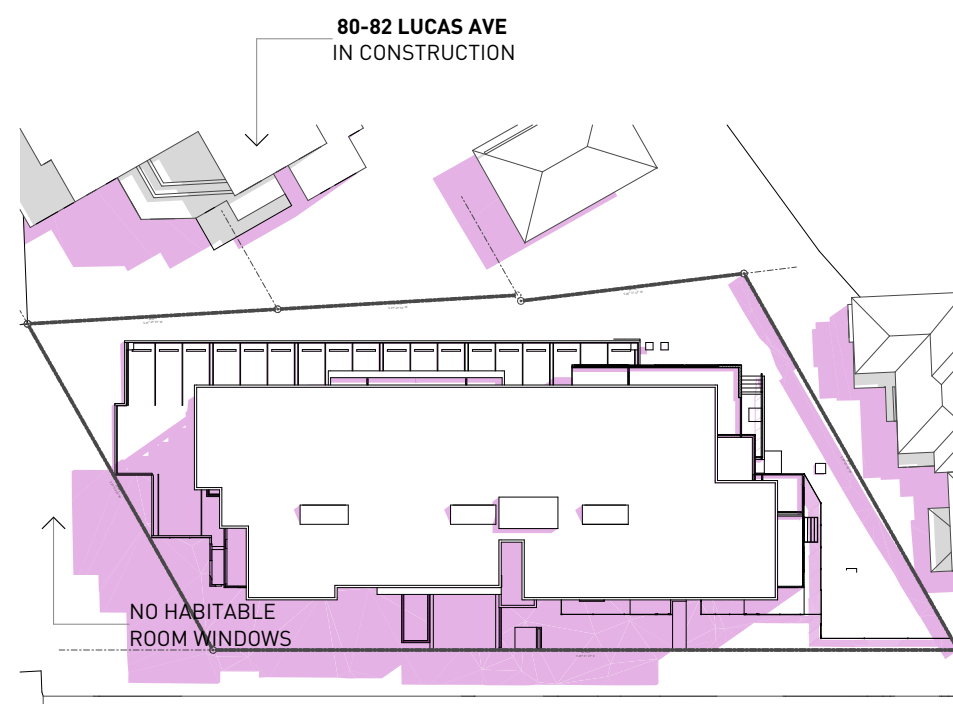
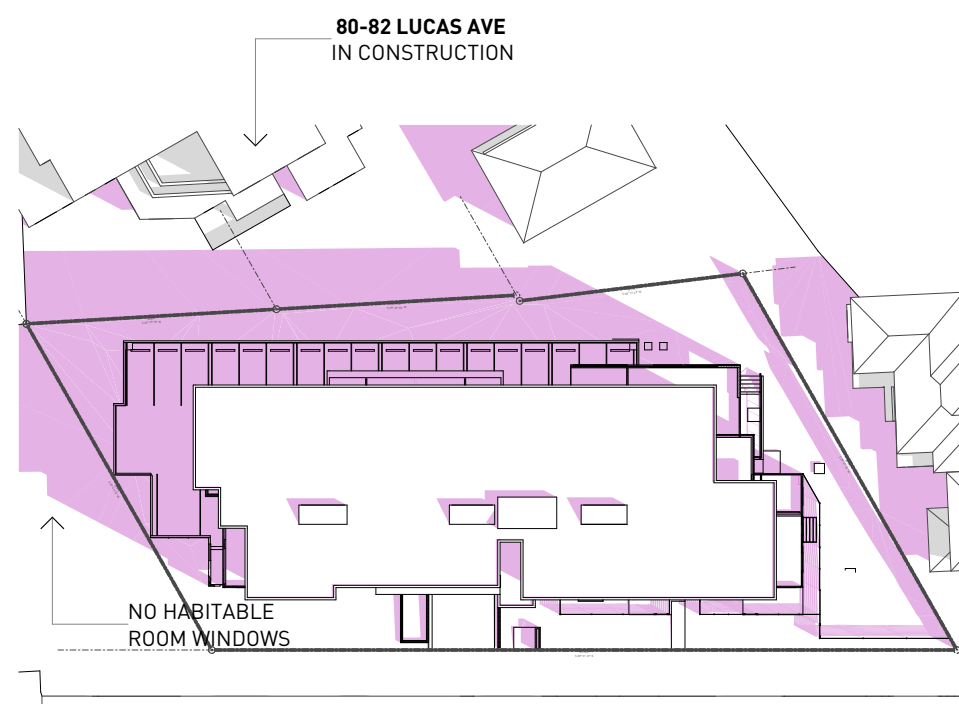
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17_060 DA-A-851



FOR DA

REV A 22/05/2018

SHADOWS - EQUINOX SEPTEMBER

DEVELOPMENT APPLICATION

SGCH NUWARRA

ST GEORGE COMMUNITY HOUSING



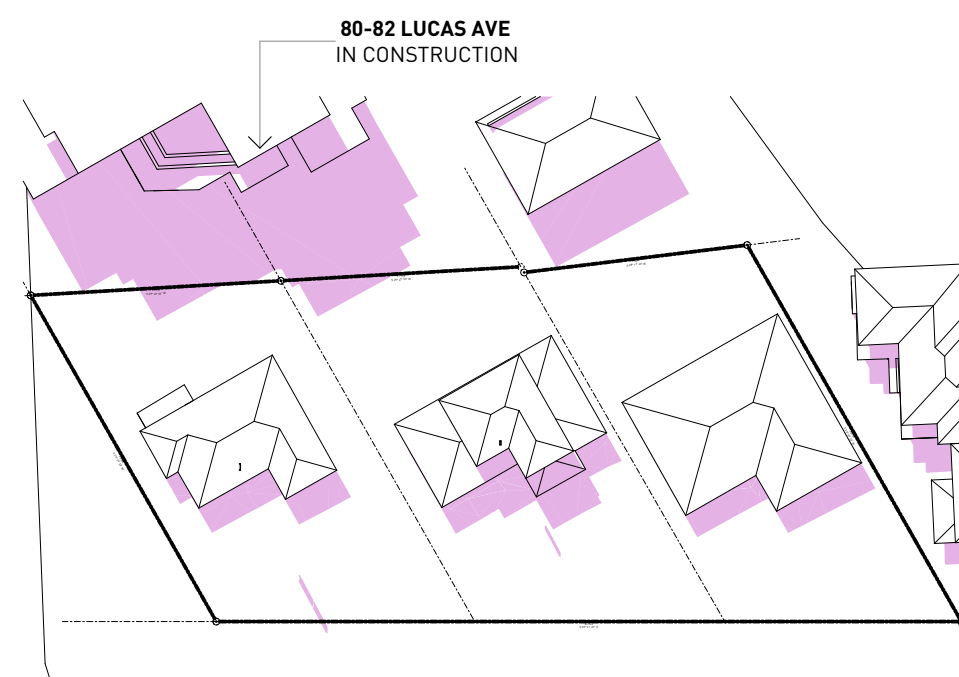
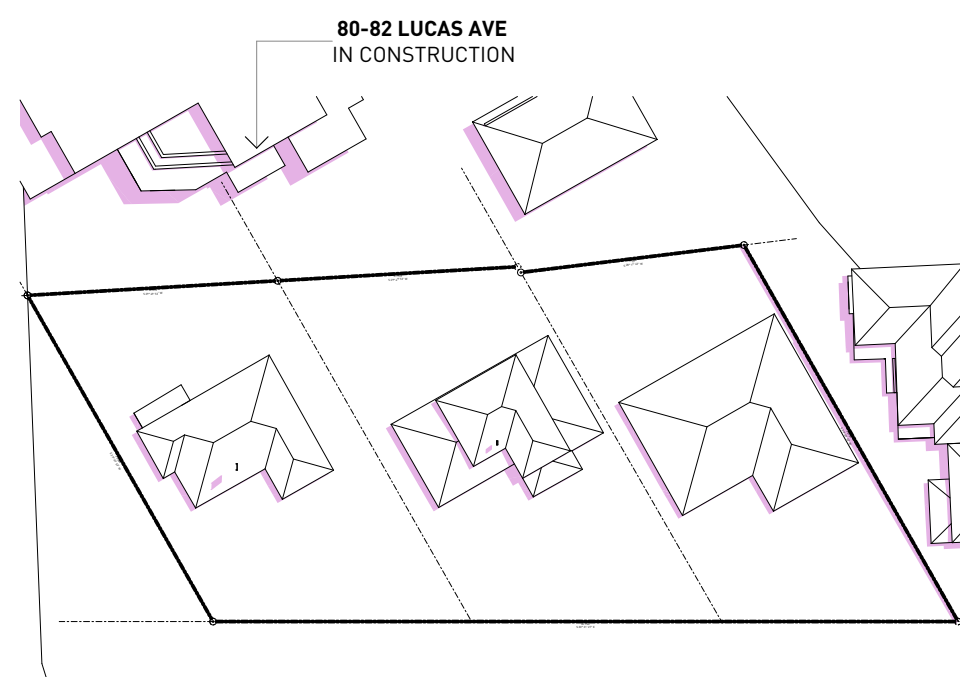
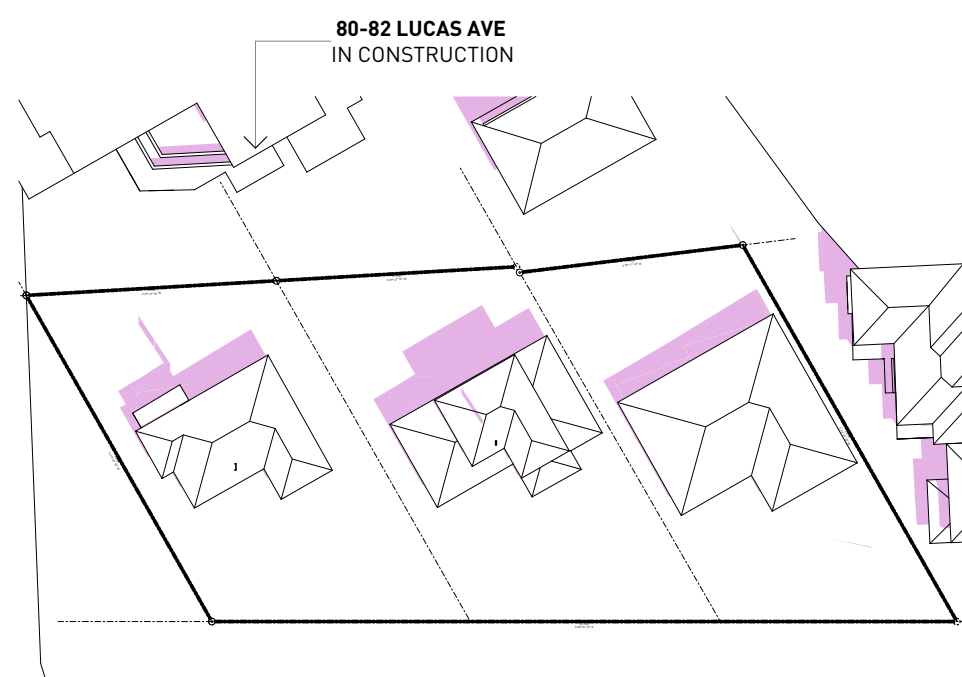
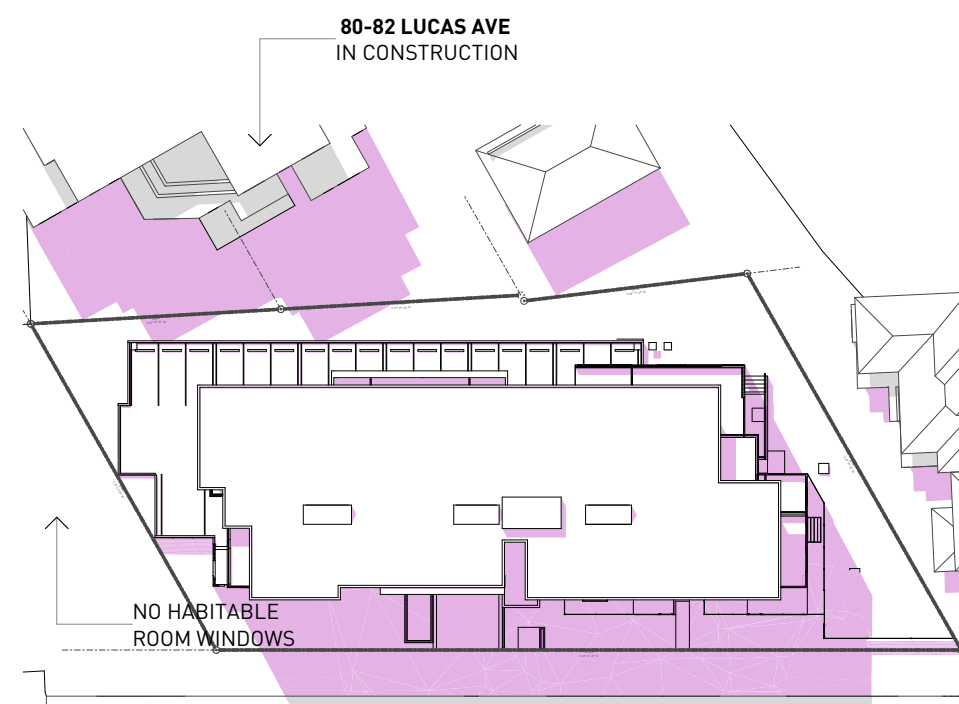
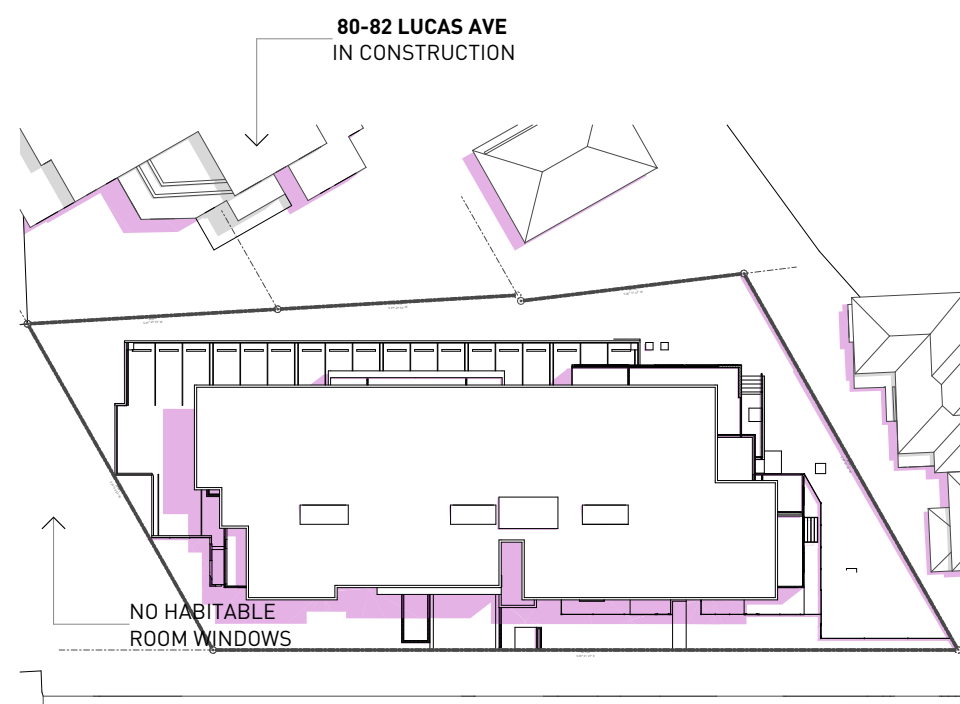
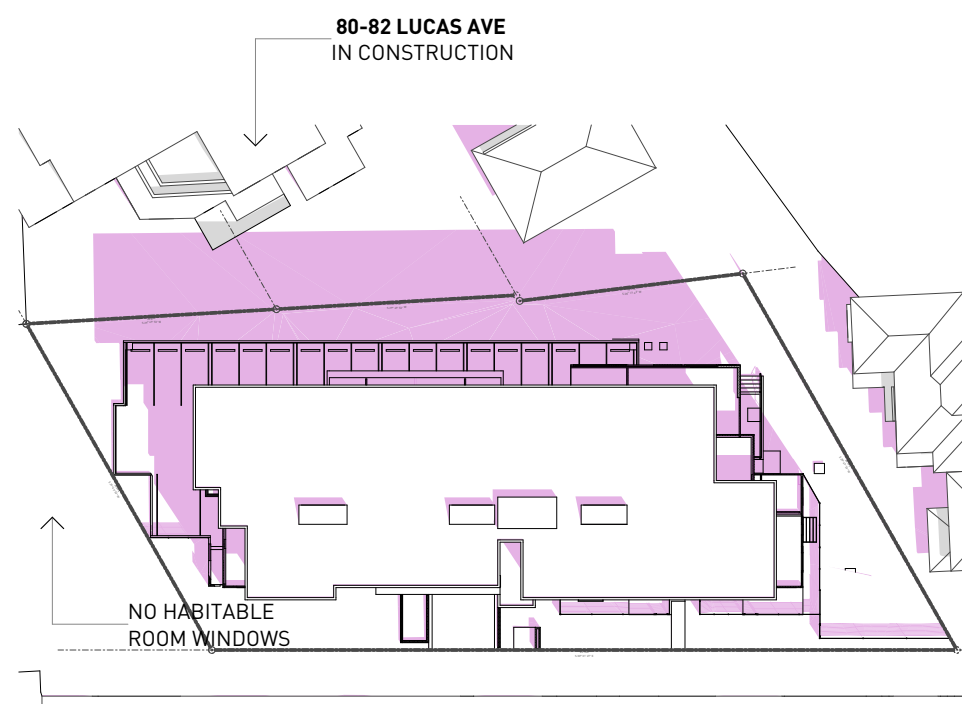
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17_060 DA-A-852



FOR DA

REV A 22/05/2018

SHADOWS - SUMMER SOLSTICE

DEVELOPMENT APPLICATION

SGCH NUWARRA

ST GEORGE COMMUNITY HOUSING



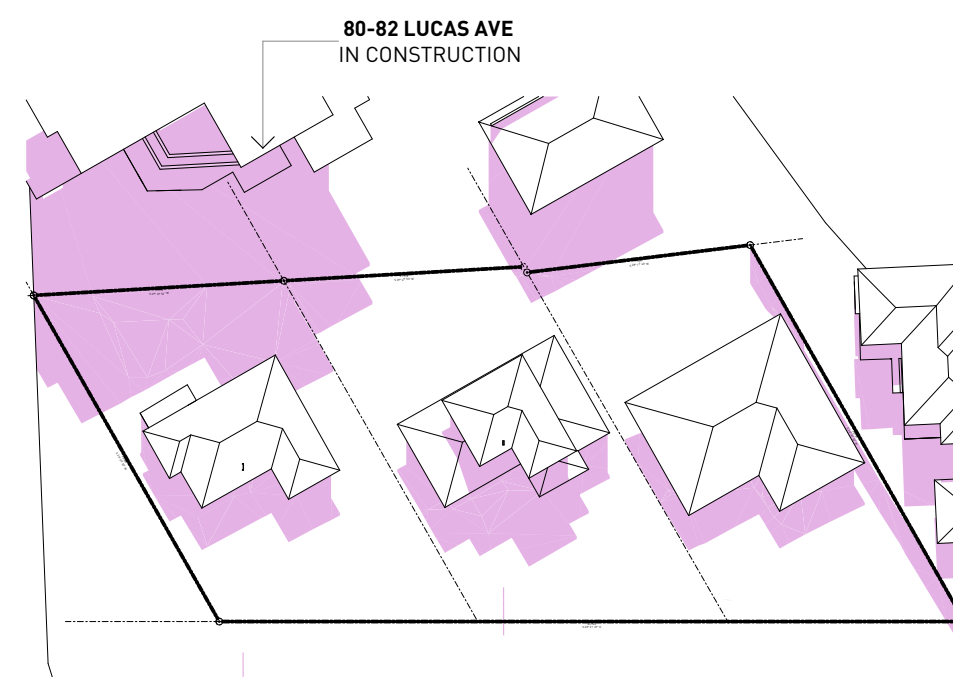
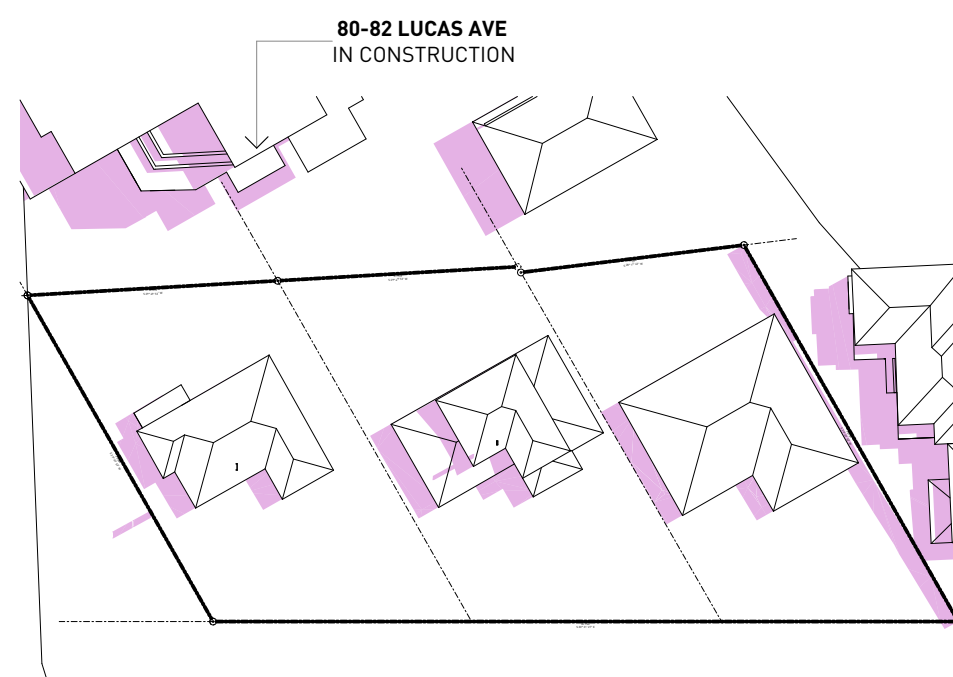
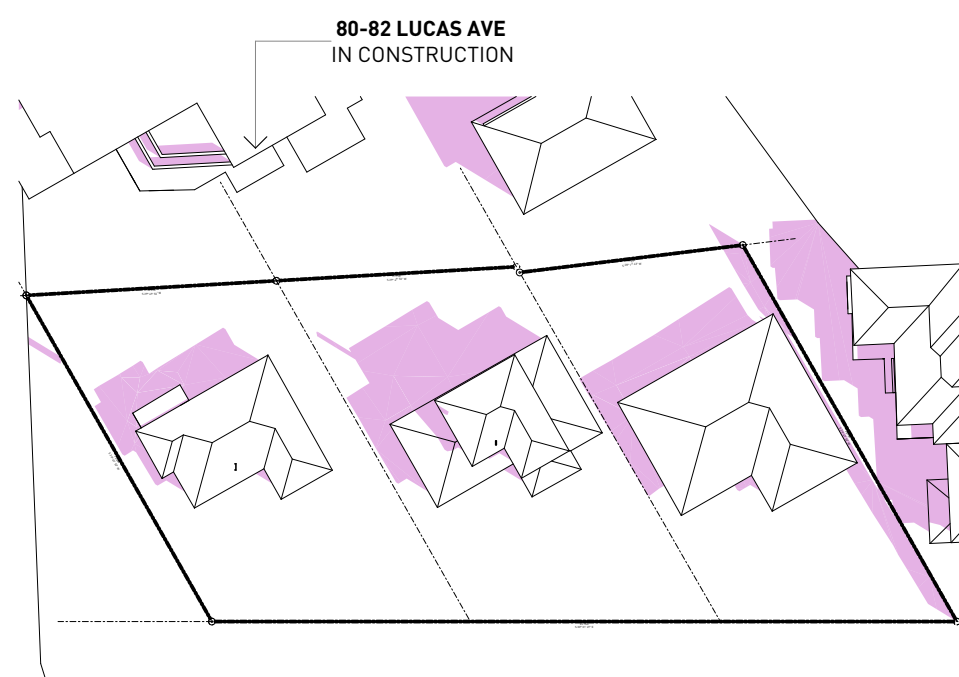
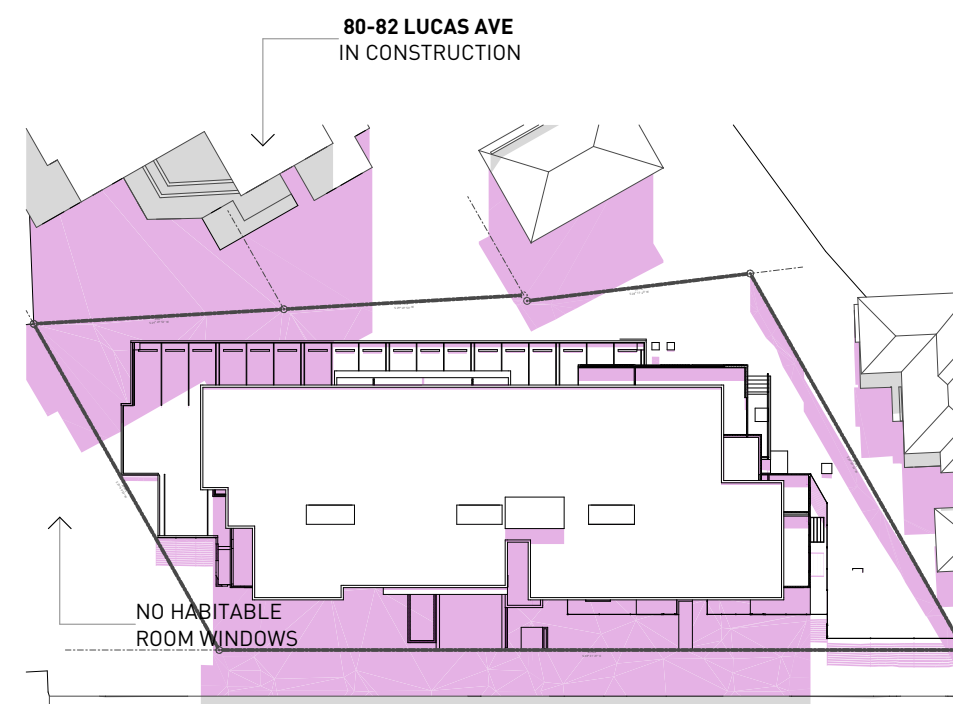
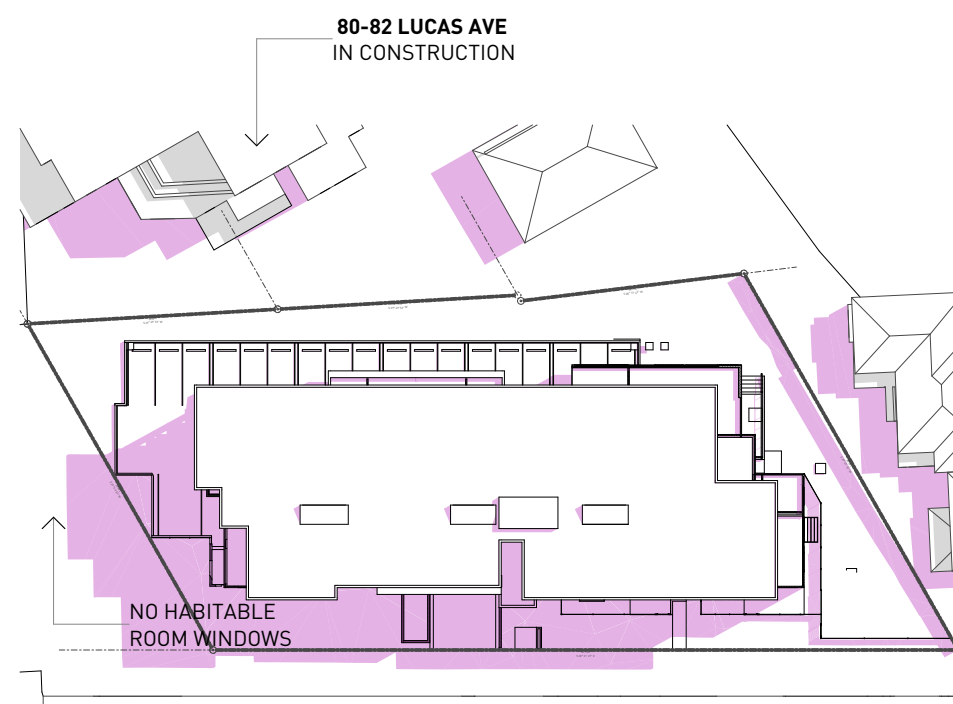
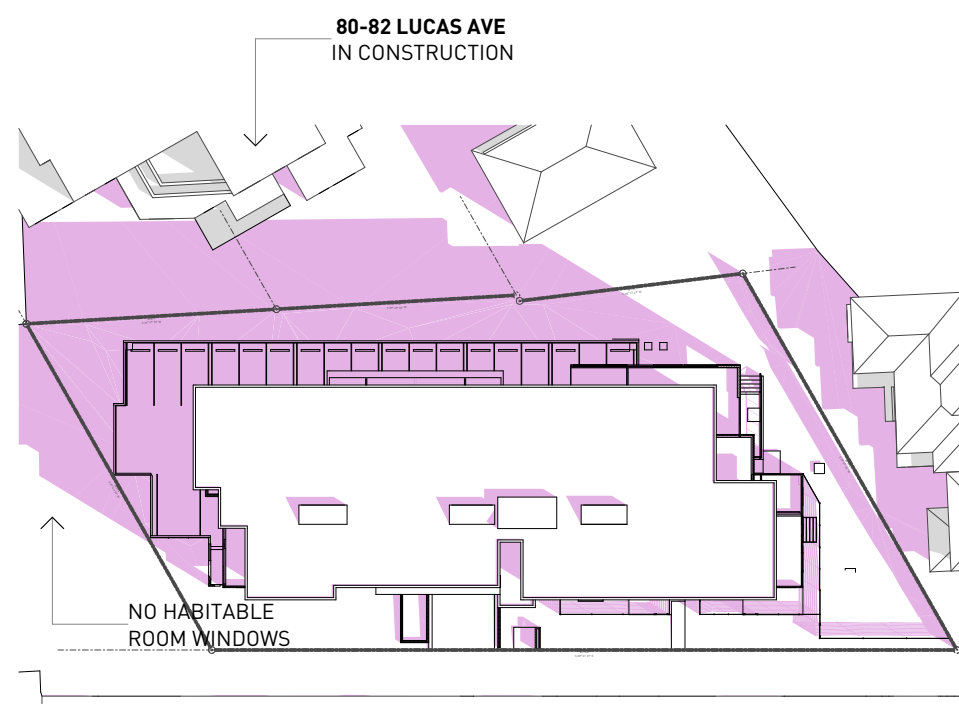
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17_060 DA-A-853



FOR DA

REV A 22/05/2018

SHADOWS - EQUINOX MARCH

DEVELOPMENT APPLICATION

SGCH NUWARRA

ST GEORGE COMMUNITY HOUSING



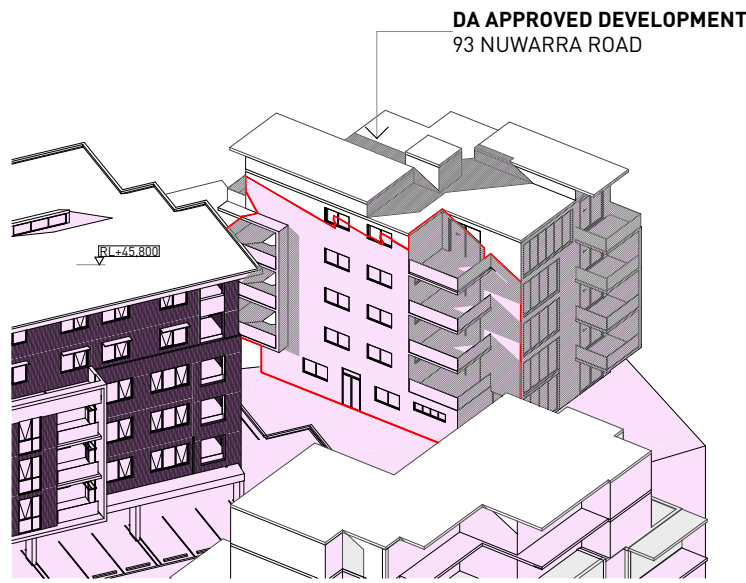
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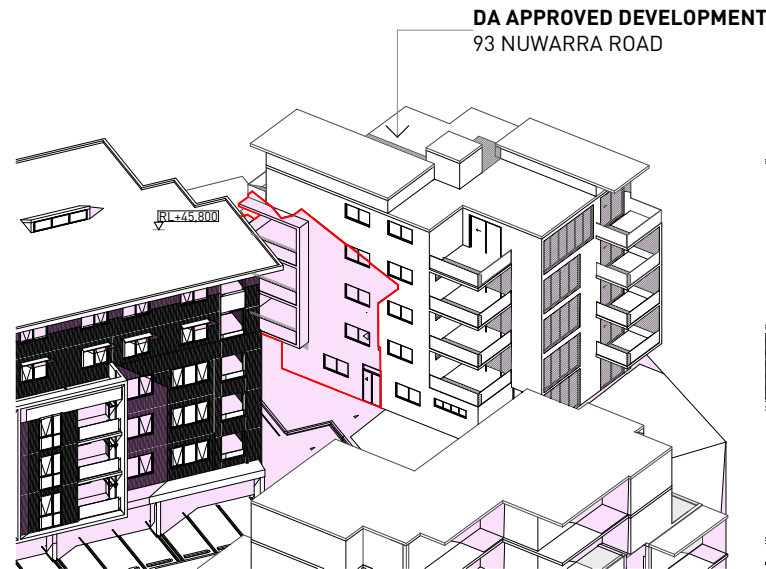
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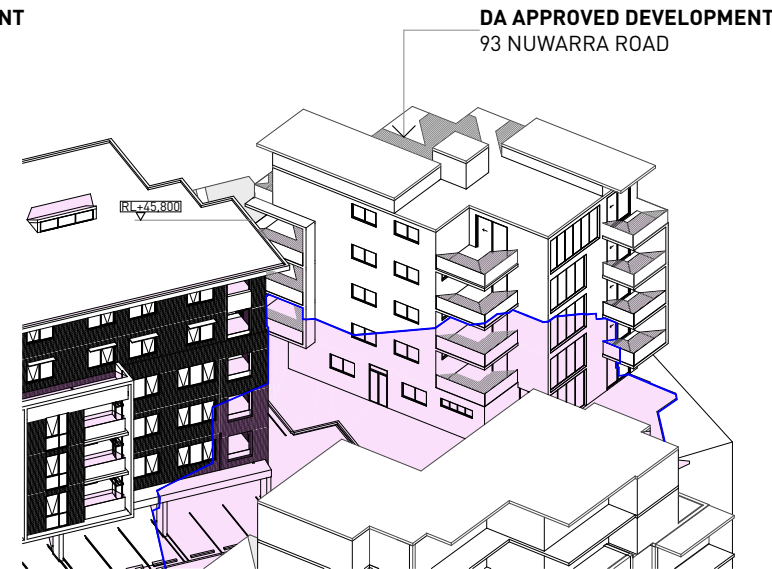
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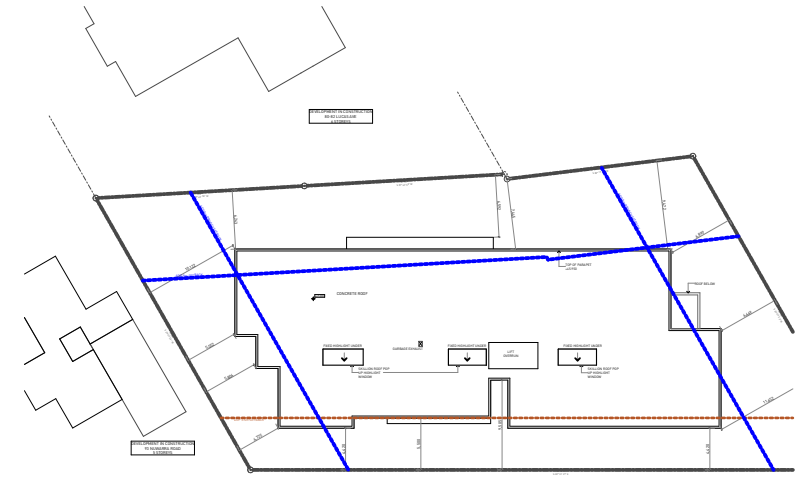
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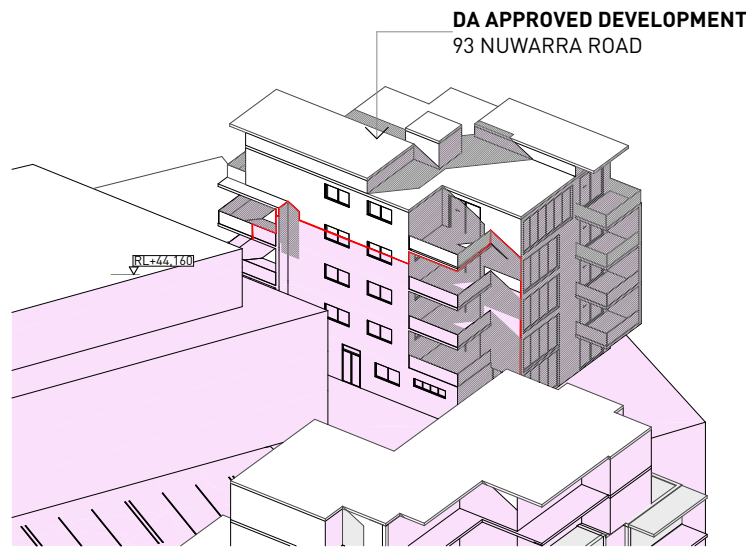
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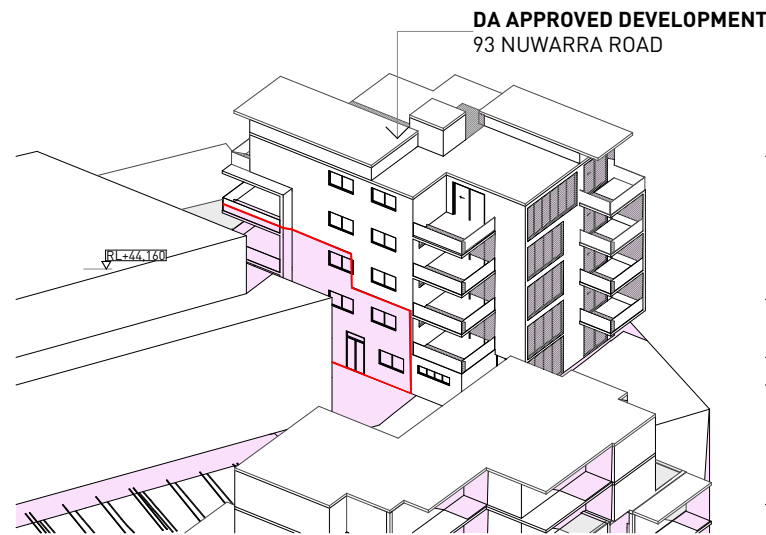
3. PROPOSED 21 JUN 3PM
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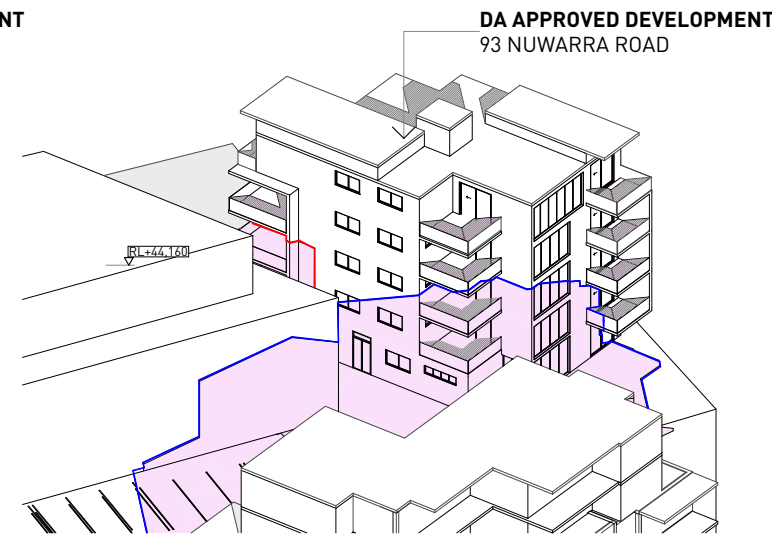
4. PROPOSED
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5. COMPLYING ENVELOPE 21 JUN 9AM
1:500



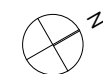
6. COMPLYING ENVELOPE 21 JUN 12PM
1:500



7. COMPLYING ENVELOPE 21 JUN 3PM
1:500



8. 6M SETBACK
1:800



FOR DA

REV A 22/05/2018

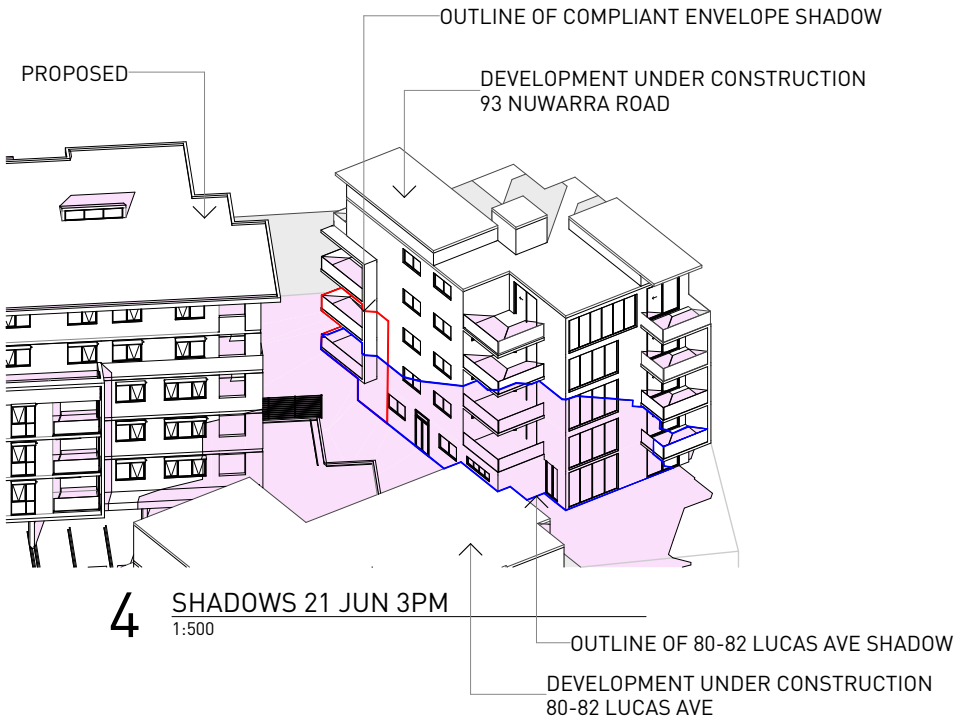
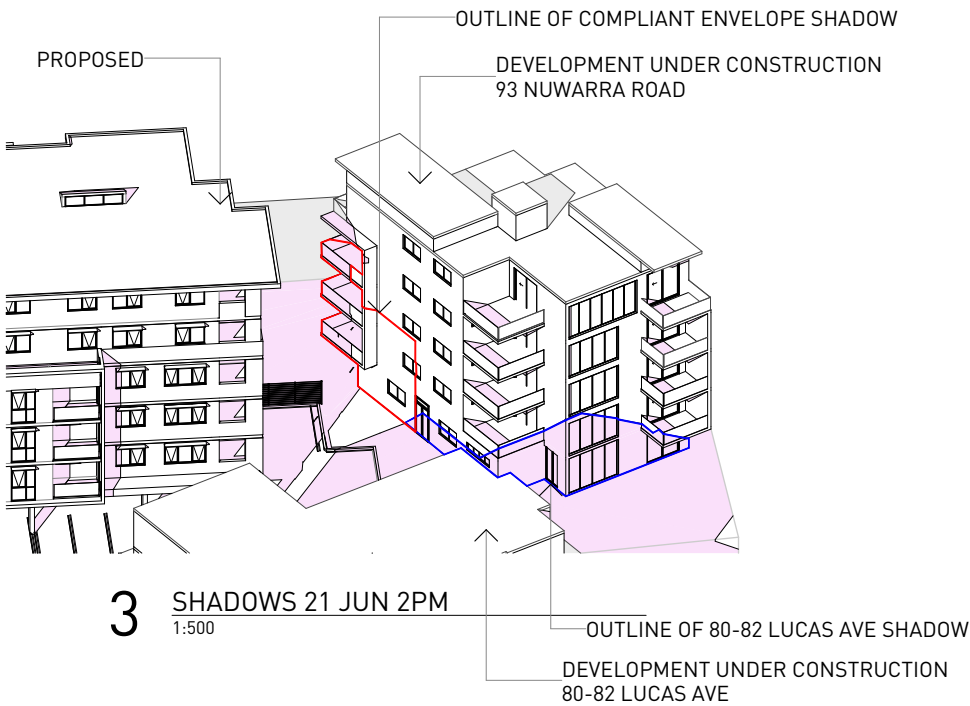
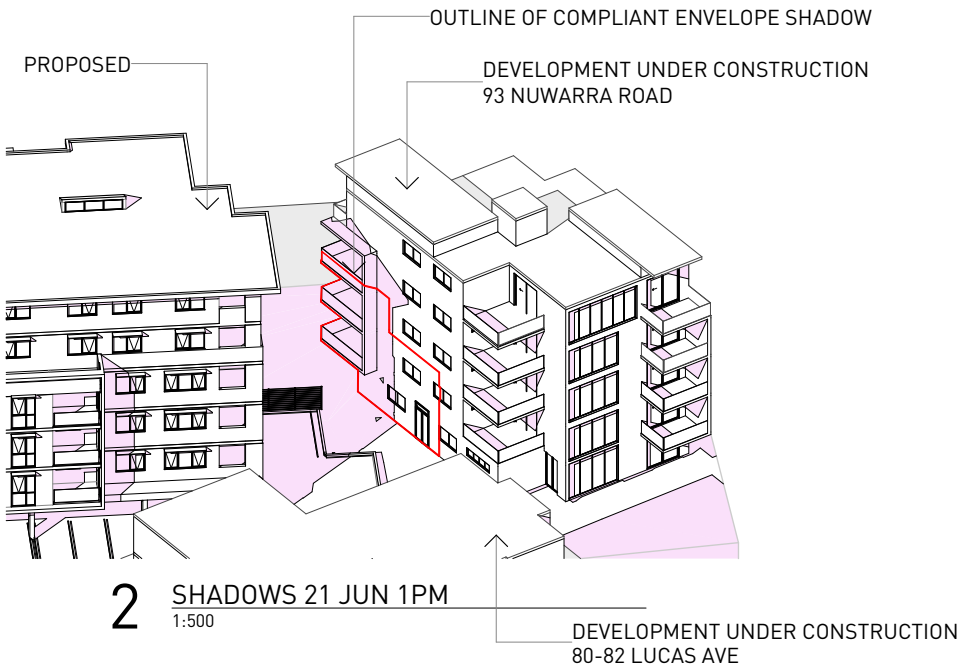
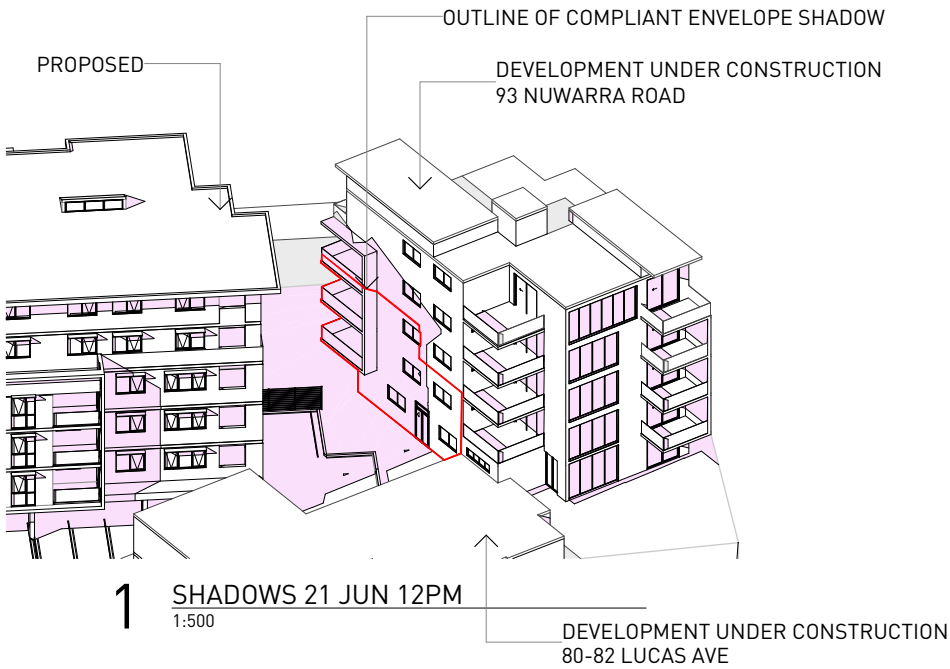
SHADOWS - 93 NUWARRA RD

DEVELOPMENT APPLICATION

SGCH NUWARRA

ST GEORGE COMMUNITY HOUSING

- LEGEND
- AD ALUMINIUM DOOR
 - AS ALUMINIUM SCREEN
 - AW ALUMINIUM WINDOW
 - BP FEATURE PATTERN BRICK INFILL
 - CONC CONCRETE
 - D DISHWASHER
 - EX EXISTING
 - F FRIDGE
 - FB# FACE BRICK TYPE #
 - FG FIXED GLAZING
 - GBAL GLASS BALUSTRADE
 - GL GLASS LOURVES
 - HWU HOT WATER UNIT
 - OG OVERHEAD DOOR
 - P PANTRY
 - PMB PERFORATED METAL BALUSTRADE
 - RL RELATIVE LEVEL
 - TG TRANSLUCENT GLAZING
 - WM WASHING MACHINE



	SOLAR ACCESS AT 93 NUWARRA RD
PRE DEVELOPMENT	10 (100%) UNITS ACHIEVE 2 HRS
POST DEVELOPMENT	8 (80%) UNITS ACHIEVE 2 HRS



FOR DA

REV B 14/06/2018

SHADOWS 2- 93 NUWARRA RD

DEVELOPMENT APPLICATION

SGCH NUWARRA

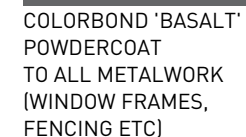
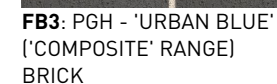
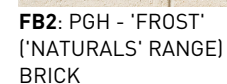
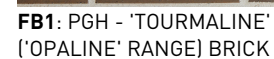
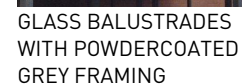
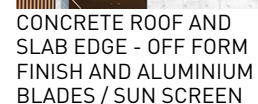
ST GEORGE COMMUNITY HOUSING

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy Street Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)



17_060 DA-A-856

AD	ALUMINIUM DOOR
AS	ALUMINIUM SCREEN
AW	ALUMINIUM WINDOW
BP	FEATURE PATTERN BRICK INFILL
CONC	CONCRETE
D	DISHWASHER
EX	EXISTING
F	FRIDGE
FB#	FACE BRICK TYPE #
FG	FIXED GLAZING
GBAL	GLASS BALUSTRADE
GL	GLASS LOURVES
HWU	HOT WATER UNIT
OG	OVERHEAD DOOR
P	PANTRY
PMB	PERFORATED METAL BALUSTRADE
RL	RELATIVE LEVEL
TG	TRANSLUCENT GLAZING
WM	WASHING MACHINE

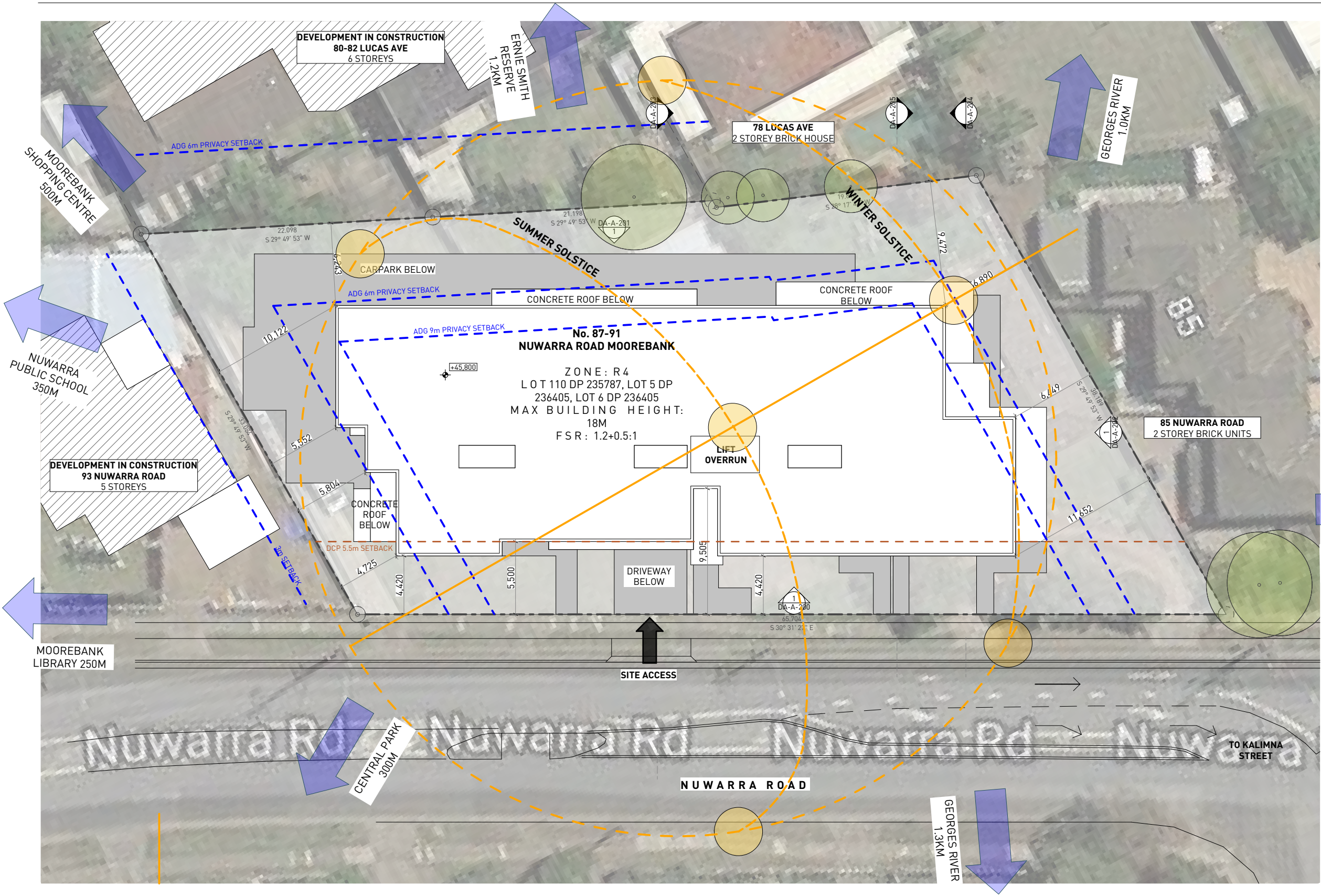


ST GEORGE COMMUNITY HOUSING

0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25



17_060 DA-A-900



LEGEND	
AD	ALUMINIUM DOOR
AS	ALUMINIUM SCREEN
AW	ALUMINIUM WINDOW
BP	FEATURE PATTERN BRICK INFILL
CONC	CONCRETE
D	DISHWASHER
EX	EXISTING
F	FRIDGE
FB#	FACE BRICK TYPE #
FG	FIXED GLAZING
GBAL	GLASS BALUSTRADE
GL	GLASS LOURVES
HWU	HOT WATER UNIT
OG	OVERHEAD DOOR
P	PANTRY
PMB	PERFORATED METAL BALUSTRADE
RL	RELATIVE LEVEL
TG	TRANSLUCENT GLAZING
WM	WASHING MACHINE

SITE ANALYSIS
1:300



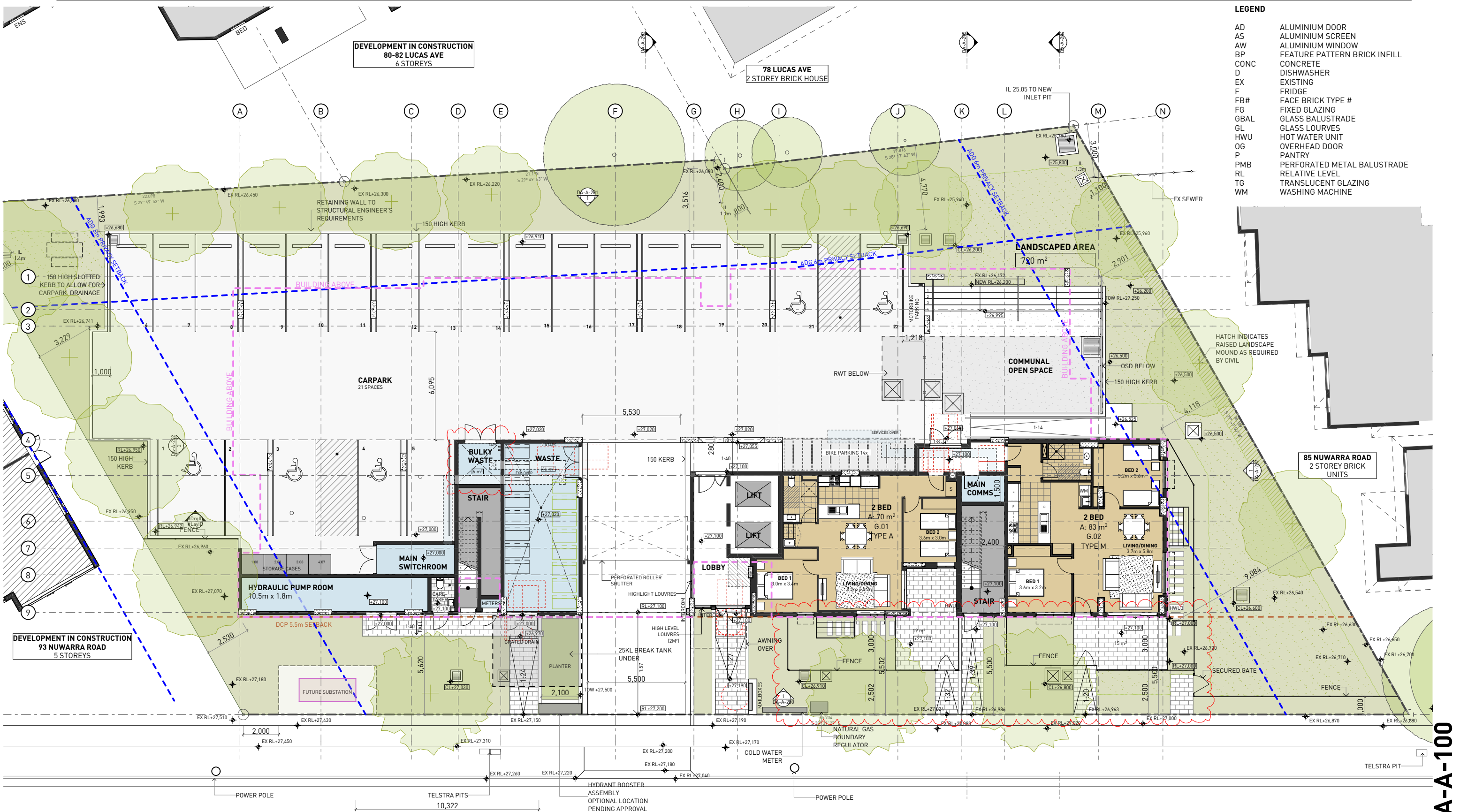
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0	10m - 1:200
	5.0m - 1:100
	2.5m - 1:50
	1.25m - 1:25

FOR DA
REV A 22/05/2018
SITE ANALYSIS
DEVELOPMENT APPLICATION
SGCH NUWARRA
ST GEORGE COMMUNITY HOUSING

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy Street Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





- LEGEND**
- | | |
|------|------------------------------|
| AD | ALUMINIUM DOOR |
| AS | ALUMINIUM SCREEN |
| AW | ALUMINIUM WINDOW |
| BP | FEATURE PATTERN BRICK INFILL |
| CONC | CONCRETE |
| D | DISHWASHER |
| EX | EXISTING |
| F | FRIDGE |
| FB# | FACE BRICK TYPE # |
| FG | FIXED GLAZING |
| GBAL | GLASS BALUSTRADE |
| GL | GLASS LOURVES |
| HWU | HOT WATER UNIT |
| OG | OVERHEAD DOOR |
| P | PANTRY |
| PMB | PERFORATED METAL BALUSTRADE |
| RL | RELATIVE LEVEL |
| TG | TRANSLUCENT GLAZING |
| WM | WASHING MACHINE |

LEVEL 0
1:200

FOR DA
REV D 16/10/2018
LEVEL 0 (GROUND)
DEVELOPMENT APPLICATION
SGCH NUWARRA
ST GEORGE COMMUNITY HOUSING

NUWARRA ROAD

0

10m - 1:200
5.0m - 1:100
2.5m - 1:50
1.25m - 1:25

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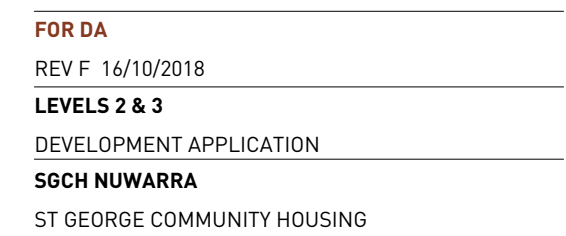


17_060 DA-A-100



ST GEORGE COMMUNITY HOUSING

17_060 DA-A-101



1:200

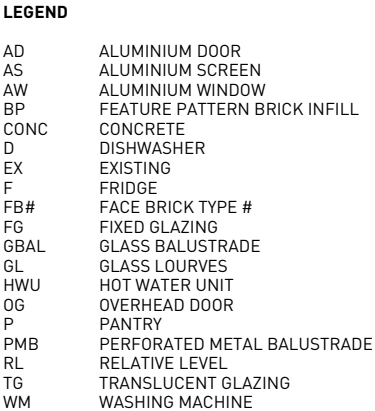
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0					10m - 1:200
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					1.25m - 1:25

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Nominated Architect: Peter Smith (Reg 7024)



17_060 DA-A-102



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17_060 DA-A-103

AD	ALUMINIUM DOOR
AS	ALUMINIUM SCREEN
AW	ALUMINIUM WINDOW
BP	FEATURE PATTERN BRICK INFILL
CONC	CONCRETE
D	DISHWASHER
EX	EXISTING
F	FRIDGE
FB#	FACE BRICK TYPE #
FG	FIXED GLAZING
GBAL	GLASS BALUSTRADE
GL	GLASS LOURVES
HWU	HOT WATER UNIT
OG	OVERHEAD DOOR
P	PANTRY
PMB	PERFORATED METAL BALUSTRADE
RL	RELATIVE LEVEL
TG	TRANSLUCENT GLAZING
WM	WASHING MACHINE



0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25

ARCHITECTURE URBAN PLANNING
M1/147 McEvoy Street Alexandria NSW 2015
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smithtznanes.com.au
Nominated Architect: Peter Smith (Reg 7024)

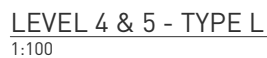
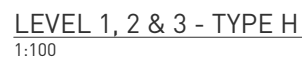


17_060 DA-A-105

AD	ALUMINIUM DOOR
AS	ALUMINIUM SCREEN
AW	ALUMINIUM WINDOW
BP	FEATURE PATTERN BRICK INFILL
CONC	CONCRETE
D	DISHWASHER
EX	EXISTING
F	FRIDGE
FB#	FACE BRICK TYPE #
FG	FIXED GLAZING
GBAL	GLASS BALUSTRADE
GL	GLASS LOURVES
HWU	HOT WATER UNIT
OG	OVERHEAD DOOR
P	PANTRY
PMB	PERFORATED METAL BALUSTRADE
RL	RELATIVE LEVEL
TG	TRANSLUCENT GLAZING
WM	WASHING MACHINE

SCHEDULE OF FEATURES FOR ADAPTABLE HOUSING

2. Accessible parking spaces are available at grade.



AD	ALUMINIUM DOOR
AS	ALUMINIUM SCREEN
AW	ALUMINIUM WINDOW
BP	FEATURE PATTERN BRICK INFILL
CONC	CONCRETE
D	DISHWASHER
EX	EXISTING
F	FRIDGE
FB#	FACE BRICK TYPE #
FG	FIXED GLAZING
GBAL	GLASS BALUSTRADE
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OG	OVERHEAD DOOR
P	PANTRY
PMB	PERFORATED METAL BALUSTRADE
RL	RELATIVE LEVEL
TG	TRANSLUCENT GLAZING
WM	WASHING MACHINE



1 EAST ELEVATION (STREET)

ST GEORGE COMMUNITY HOUSING

0					10m - 1:200
					5.0m - 1:100
					2.5m - 1:50
					1.25m - 1:25



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17_060 DA-A-200

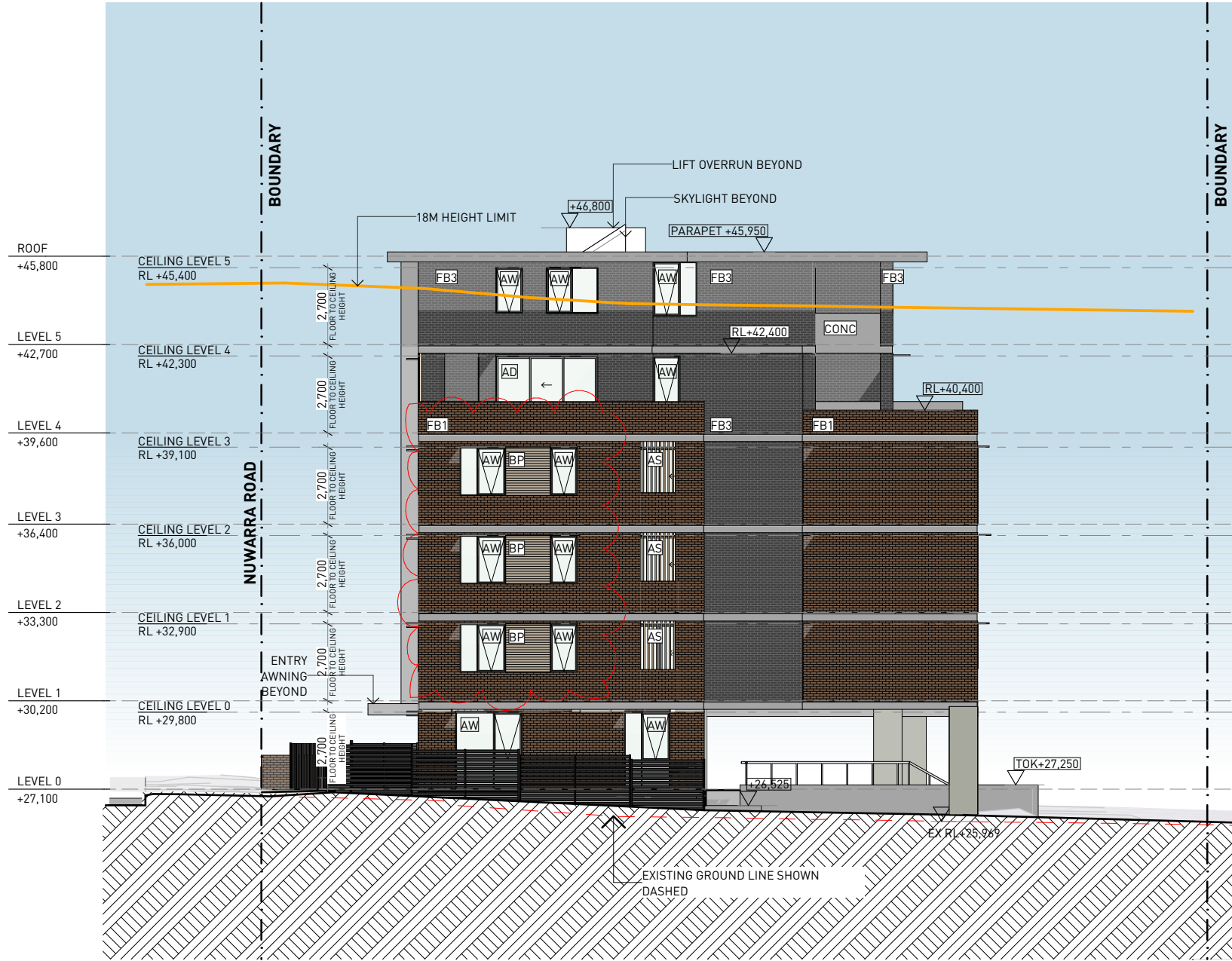
AD	ALUMINIUM DOOR
AS	ALUMINIUM SCREEN
AW	ALUMINIUM WINDOW
BP	FEATURE PATTERN BRICK INFILL
CONC	CONCRETE
D	DISHWASHER
EX	EXISTING
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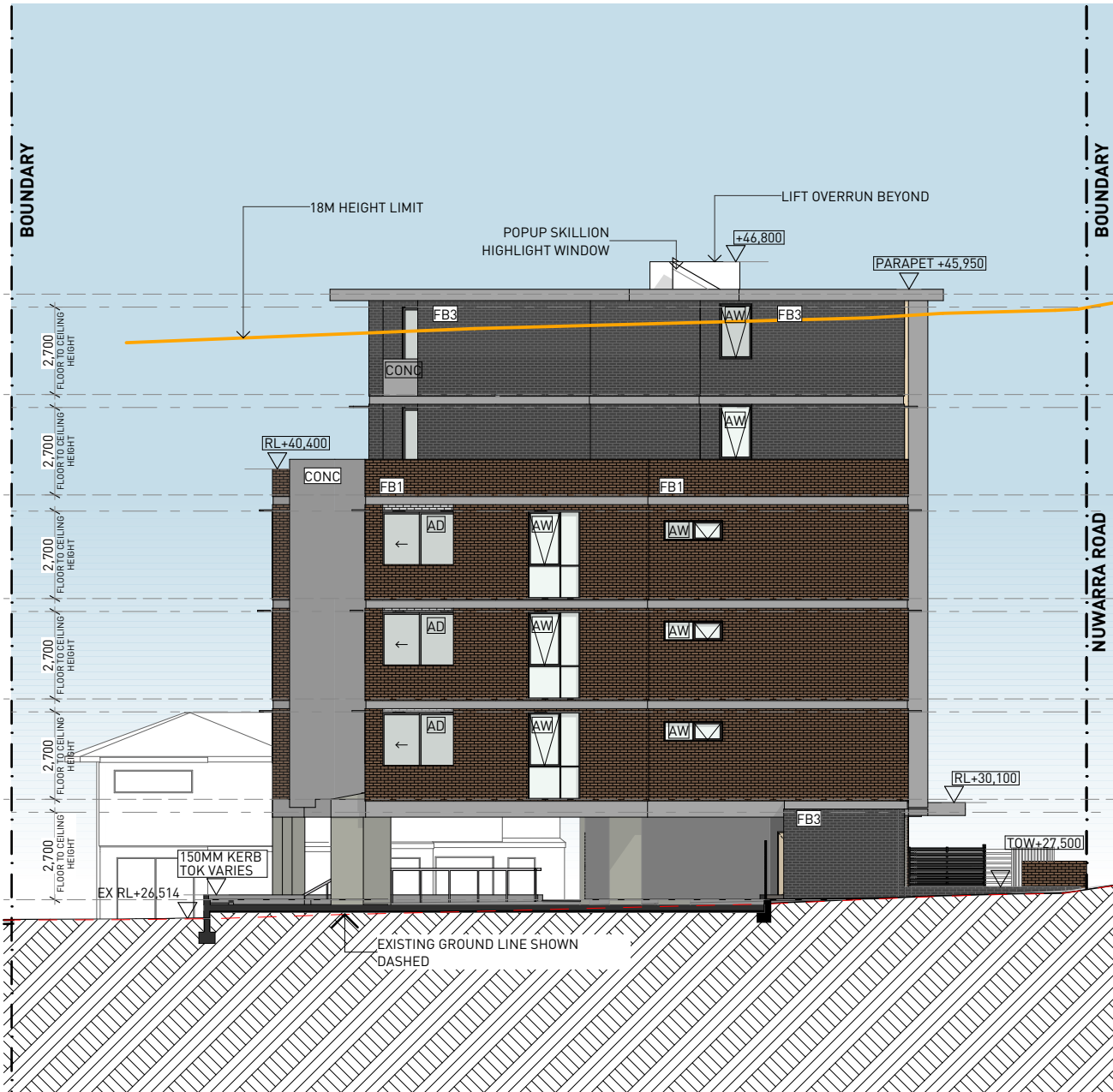
0					10m - 1:200
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					1.25m - 1:25

17_060 DA-A-201

LEGEND	
AD	ALUMINIUM DOOR
AS	ALUMINIUM SCREEN
AW	ALUMINIUM WINDOW
BP	FEATURE PATTERN BRICK INFILL
CONC	CONCRETE
D	DISHWASHER
EX	EXISTING
F	FRIDGE
FB#	FACE BRICK TYPE #
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RL	RELATIVE LEVEL
TG	TRANSLUCENT GLAZING
WM	WASHING MACHINE



1 NORTH ELEVATION
1:200



2 SOUTH ELEVATION
1:200

FOR DA

REV E 14/08/2018

NORTH & SOUTH ELEVATIONS

DEVELOPMENT APPLICATION

SGCH NUWARRA

ST GEORGE COMMUNITY HOUSING

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0	10m - 1:200
	5.0m - 1:100
	2.5m - 1:50
	1.25m - 1:25

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